

# **TYPE 1 ZONING AMENDMENT PROJECT NARRATIVE AND PLANS 3004-3006 S. ARCHER AVENUE and 3008 S. ARCHER AVENUE**

The Applicant seeks to rezone 3004-3008 S. Archer from a C1-2 Neighborhood Commercial District to a B2-3 Neighborhood Mixed-Use District to divide the zoning lot and improve the vacant lot at 3008 S. Archer with a four story, two dwelling unit residential building while converting the existing building at 3004-3006 S. Archer. 3004-3008 S. Archer is a transit served location because it is 1,040 feet from the Ashland Orange Line CTA train station and located on the Archer CTA bus line corridor.

The property located at 3004-3006 S. Archer Avenue is currently improved with a nonconforming 4-story residential building with eight (8) dwelling units and six (6) surface parking lots. Vacant commercial space is provided at 3004-3006 S. Archer on the ground floor and the existing building is 46 feet, seven inches. No exterior changes are being proposed to the 3004-3006 S. Archer Avenue building, which is being included in the zoning map amendment application to convert the eight (8) dwelling unit and vacant ground floor commercial space into twelve (12) dwelling unit residential building with no commercial space. 3004-3006 S. Archer has an existing nonconforming rear setback of 19 feet, 2 inches. Pursuant to Section 17-13-0303-D, the Applicant seeks relief under Section 17-13-1003-I to reduce the rear setback from 30 feet to 19 feet, 2 inches to preserve the existing rear setback and to allow residential on the ground floor.

The property located at 3008 S. Archer Avenue is a vacant lot. The applicant intends to establish a four-story two-dwelling unit residential building at 3008 S. Archer Avenue. No commercial space is provided at 3008 S. Archer and the height of the proposed building will be 47 feet. The property located at 3008 S. Archer Avenue will require relief under Section 17-3-0308 of the Chicago Zoning Ordinance for the two parking spaces. Pursuant to Section 17-13-0303-D, the Applicant seeks to allow two (2) parking spaces under Section 17-3-0308, the Residential building projects shall not have a number of parking spaces in excess of 50% of the Minimum Automobile Parking Ratio for the applicable district listed in Section 17-10-0207 with any fractional result rounded up to the next higher whole number unless additional parking spaces are approved as an administrative adjustment under the provisions of Section 17-13-1003-EE. The project will also require rear setback relief under Section 17-13-1003-I to bring the rear setback to 22 feet.

**Project Bulk and Density**

	<b>3008 S. Archer (New Building)</b>	<b>3004-3006 S. Archer (Existing Building)</b>
Lot Area	2,500 SF	5,000 SF
Density MLA (Lot area per unit)	1,250 SF (2 DU)	416.6 SF (12 DU)
Commercial SF	0 SF	0 SF
Off Street* Parking	2 spaces*	6 spaces (existing)* TSL as of right
Rear Setback*	22 feet*	19 feet, 2 inches* (existing)
Side Setback (West)	2 feet	0 feet (existing)
Side Setback (East)	3 feet	0 feet (existing)
Front Setback	6 inches	0 feet (existing)
Building SF	5,500 SF	14,175 SF (existing)
FAR	2.2	2.84 (existing)
Building Height	47 feet	46 feet 7 inches (existing)

**I. 17-3-0307 Exceptions.**

1. Any application seeking a zoning map amendment, pursuant to Section 17-13-0300, in order to establish a residential, day care, hospital, parks and recreation, school, eating and drinking establishment with an outdoor patio or outdoor assembly use that is proposed to be established within 660' of any (a) windrow composting facility, (b) intensive manufacturing, production and industrial service use, (c) Class III, Class IV A, Class IVB and Class V recycling facility, (d) warehousing, wholesaling, and freight movement use, (e) container storage, (f) freight terminal, (g) outdoor storage of raw material as a principal use, (h) waste-related use, or (i) manganese-bearing material operation use may be allowed only if farther reviewed and approved in accordance with the special use procedures of Section 17-13-0900, unless it otherwise meets a planned development threshold of Section 17-8-0500.

*The Applicant will comply with Section 17-3-0307 Exceptions of the Chicago Air Quality Ordinance should such provision be determined as applicable.*

**II. 17-3-0308 Specific Criteria for Transit-Served Location.**

1. The project complies with the applicable standards of Section 17-10-0102-B;

*3004-3008 S. Archer Avenue is a transit served location because it is 1,040 feet from the Ashland Orange Line CTA train station and located on the Archer CTA bus line corridor.*

2. The project complies with the standards and regulations of Section 17-3-0504, except paragraph H if the project is not located along a pedestrian street and except paragraph C if the land use is designated in a non-commercial use group, pertaining to pedestrian streets and pedestrian retail streets, even if the project is not located along a pedestrian street or a pedestrian retail street;

*The Project complies with Section 17-3-0504-B because the building abuts Archer Avenue. The Project does not need to comply with Section 17-3-0504-C because this is a residential building. The Project complies with Section 17-3-0504-D because the building has a primary entrance on Archer Avenue to access the first-floor unit. Section 17-3-0504-E does not apply to this residential building. The Project complies with Section 17-3-0504-F and G because all parking is accessed from the rear public alley and not visible from Archer Avenue. Section 17-3-0504-H does not apply to this residential building. Section 17-3-0504-I does not apply to this all residential building.*

3. The project complies with the general goals set forth in the Transit Friendly Development Guide: Station Area Typology, and any other station-specific plans, designs or guidelines adopted by the Chicago Plan Commission;

*The Ashland Orange Line CTA train station typology allows for light density in infill opportunities. The proposed two-flat conforms to this typology where residential uses are already abundantly present.*

4. Residential building projects shall not have a number of parking spaces in excess of 50% of the Minimum Automobile Parking Ratio for the applicable district listed in Section 17-10-0207 with any fractional result rounded up to the next higher whole number, unless additional parking spaces are approved as an administrative adjustment under the provisions of Section 17-13-1003-EE; and

*The subject property at 3008 S. Archer Avenue pursuant to 17-13-0303-D seeks relief as an Administrative Adjustment as part of its Type-1 zoning amendment application to allow for two parking space under Section 17-13-1003-EE.*

5. The project complies with the Travel Demand Study and Management Plan rules of the Chicago Department of Transportation. The City's Commissioner of Transportation is authorized to issue Travel Demand Study and Management Plan rules consistent with this section.

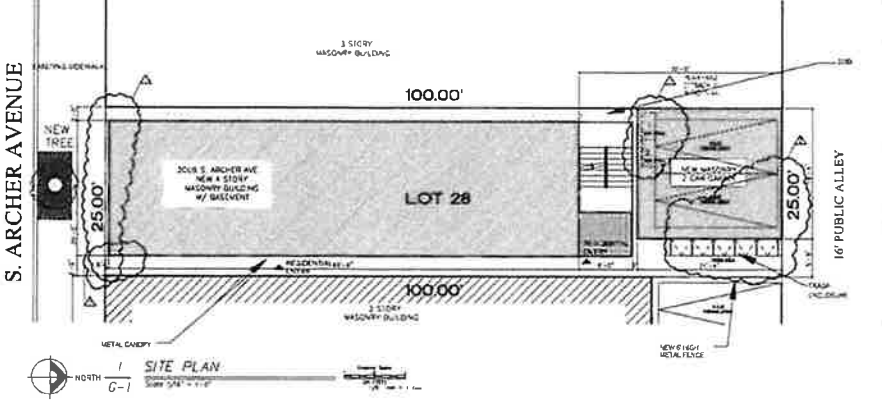
*This Specific Criteria is not applicable to this project.*

FINAL FOR PUBLICATION

**NEW 2 UNIT RESIDENTIAL 4 STORY BUILDING**  
 CHICAGO ILLINOIS  
**3008 S. ARCHER AVE.**

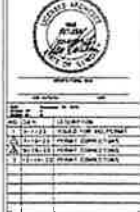
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 2. ARCHITECT: [unreadable]  
 3. DATE: [unreadable]

- DRAWING LIST:**
- ARCHITECTURAL
    - C-1 25' SITE PLAN - ADJACENT PROPERTY
    - C-2 25' DISTANCE PLAN
    - C-3 GENERAL NOTES
    - C-4 H.C. DETAILS
    - L-1 LANDSCAPE PLAN
    - A-1 FLOOR PLANS
    - A-2 FLOOR PLANS
    - A-3 FLOOR PLANS
    - A-4 ELEVATIONS
    - A-5 ELEVATIONS
    - A-6 SECTIONS
    - A-7 25' SECTIONS
    - A-8 WALL TYPES
    - A-9 RAINSCREEN DETAILS
    - A-10 METAL PANEL DETAILS
    - A-11 SCHEDULES
  - MECHANICAL/PLUMBING
    - M-1A MECHANICAL NOTES & DETAILS
    - M-1B MECHANICAL NOTES & DETAILS
    - M-2 BASEMENT MECHANICAL PLAN
    - M-3 1ST FLOOR MECHANICAL PLAN
    - M-4 2ND FLOOR MECHANICAL PLAN
    - M-5 3RD FLOOR MECHANICAL PLAN
    - M-6 ROOF MECHANICAL PLAN
    - PFP-1 PLUMBING & FP PLAN NOTES & DETAILS
    - PFP-2 BASEMENT PLUMBING & FP PLANS
    - PFP-3 1ST FLOOR PLUMBING & FP PLANS
    - PFP-4 2ND FLOOR PLUMBING & FP PLANS
    - PFP-5 3RD FLOOR PLUMBING & FP PLANS
    - PFP-6 ROOF PLUMBING & FP PLANS
  - ELECTRICAL
    - E-0 ELECTRICAL SYMBOLS & GENERAL NOTES
    - E-1 GROUND/BASEMENT & 1ST FLOOR ELECTRICAL PLANS
    - E-2 2ND, 3RD & ROOF ELECTRICAL PLANS
    - E-3 GROUND/BASEMENT & 1ST FLOOR EXT. & FIRE ALARM PLANS
    - E-4 2ND, 3RD & ROOF EXT. & FIRE ALARM PLANS
  - STRUCTURAL
    - S-0 GENERAL NOTES
    - S-1 GROUND/BASEMENT & 1ST FLOOR FRAMING PLAN
    - S-2 2ND & 3RD FLOOR FRAMING
    - S-3 JOIST & GIRDER ROOF FRAMING PLAN
    - S-4 FOUNDATION DETAILS
    - S-5 ROOF DETAILS



ARCHITECTURE  
 INTERIORS  
 PLANNING  
**kuleshi hernandez**  
 ARCHITECTS P.C.  
 1000 N. LA SALLE ST.  
 CHICAGO, IL 60610  
 TEL: 312.467.1111  
 WWW.KULESHIHERNANDEZ.COM

Professional seal and registration information for the architect.



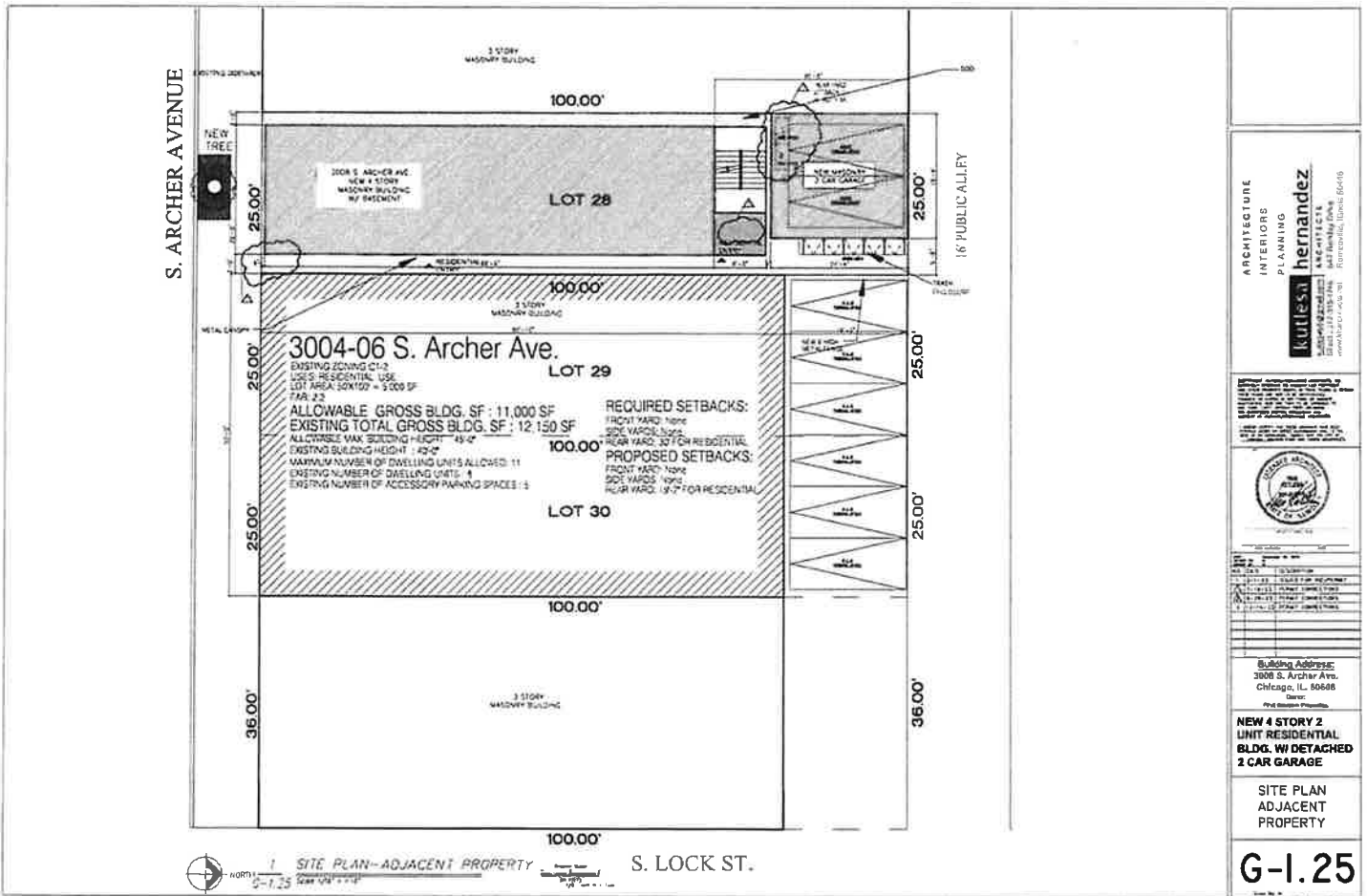
Building Address:  
 3008 S. Archer Ave.  
 Chicago, IL 60608  
 Owner:  
 [unreadable]

NEW 4 STORY 2  
 UNIT RESIDENTIAL  
 BLDG. W/ DETACHED  
 2 CAR GARAGE

SITE PLAN

**G-1**

FINAL FOR PUBLICATION



ARCHITECTURE  
 INTERIORS  
 PLANNING  
**kutiesha hernandez**  
 ARCHITECT  
 3004 S. ARCHER AVE.  
 CHICAGO, ILLINOIS 60608

Professional Engineer  
 License No. 000000000  
 State of Illinois  
 Exp. 12/31/2025



Project No.	3004-06 S. Archer Ave.
Client	3004-06 S. Archer Ave.
Site No.	3004-06 S. Archer Ave.
Scale	AS SHOWN
Author	AKC
Checker	AKC
Engineer	AKC
Professional Seal	AKC
Date	10/20/2023

Building Address:  
 3004 S. Archer Ave.  
 Chicago, IL 60608

**NEW 4 STORY 2 UNIT RESIDENTIAL BLDG. W/ DETACHED 2 CAR GARAGE**

SITE PLAN  
 ADJACENT  
 PROPERTY

**G-I.25**

1 SITE PLAN-ADJACENT PROPERTY  
 NORTH  
 1/8" = 1'-0"

S. LOCK ST.

308 S. ARCHER AVENUE

**PLANT LIST**

QUANTITY	SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	COMMENTS
1	○	SHADE TREES - PLAINLEAF		12" DB HGT	
1	○	DECIDUOUS SHRUBS		12" DB HGT	

**GENERAL CONSTRUCTION NOTES**

1. LANDSCAPE SHALL BE INSTALLED IN ACCORDANCE WITH THE CHICAGO MUNICIPAL ORDINANCES AND THE CHICAGO ZONING ORDINANCES.
2. ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH THE CHICAGO ZONING ORDINANCES AND THE CHICAGO MUNICIPAL ORDINANCES.
3. ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH THE CHICAGO ZONING ORDINANCES AND THE CHICAGO MUNICIPAL ORDINANCES.
4. ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH THE CHICAGO ZONING ORDINANCES AND THE CHICAGO MUNICIPAL ORDINANCES.
5. ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH THE CHICAGO ZONING ORDINANCES AND THE CHICAGO MUNICIPAL ORDINANCES.

**OWNER'S STATEMENT**

I, the undersigned, hereby certify that the landscape plan and construction details shown on the attached landscape plan and construction details are true and correct and that I am the owner of the property at 308 S. Archer Ave., Chicago, Illinois.

**THE UNDERSIGNED ACKNOWLEDGES THAT THE LANDSCAPE PLAN AND CONSTRUCTION DETAILS SHOWN ON THE ATTACHED LANDSCAPE PLAN AND CONSTRUCTION DETAILS ARE TRUE AND CORRECT AND THAT I AM THE OWNER OF THE PROPERTY AT 308 S. ARCHER AVE., CHICAGO, ILLINOIS.**

**TITLE PRESERVATION STATEMENT**

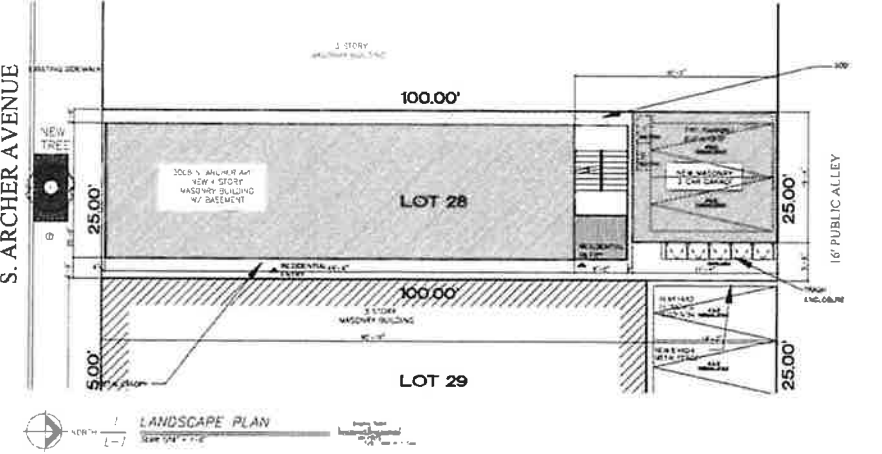
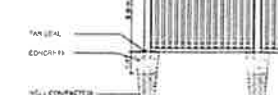
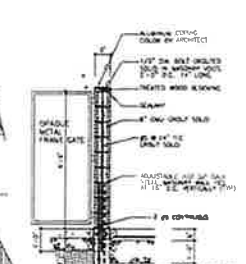
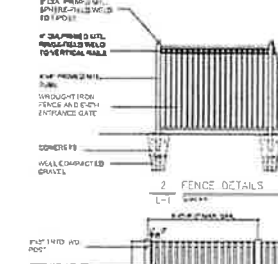
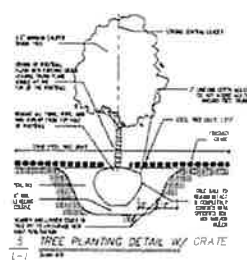
EXISTING PARKWAY AND ON-SITE INTERIOR TREES ARE TO BE PROTECTED WHILE PROJECT IS UNDER CONSTRUCTION AND WILL BE REPLACED BY CURRENT AND SUBSEQUENT OWNER IF DAMAGED.

ESTIMATED PLANTING WILL BE COMPLETED BY: [DATE]

**ARCHITECT'S STATEMENT**

THE UNDERSIGNED ARCHITECT, REGISTERED IN THE STATE OF ILLINOIS, ACKNOWLEDGES THAT THE LANDSCAPE PLAN AND CONSTRUCTION DETAILS SHOWN ON THE ATTACHED LANDSCAPE PLAN AND CONSTRUCTION DETAILS ARE TRUE AND CORRECT AND THAT I AM THE ARCHITECT OF RECORD FOR THE PROPERTY AT 308 S. ARCHER AVE., CHICAGO, ILLINOIS.

ARCHITECT'S SIGNATURE & STAMP



ARCHITECTURE  
INTERIORS  
**katiesha hernandez**  
PLANNING ARCHITECTS  
308 S. ARCHER AVE., CHICAGO, IL 60608  
TEL: 773.327.1111  
WWW.KATIESHAHERNANDEZ.COM

COMMON USES: RESIDENTIAL, COMMERCIAL, INDUSTRIAL, INSTITUTIONAL, PUBLIC WORKS, AND LANDSCAPE ARCHITECTURE.



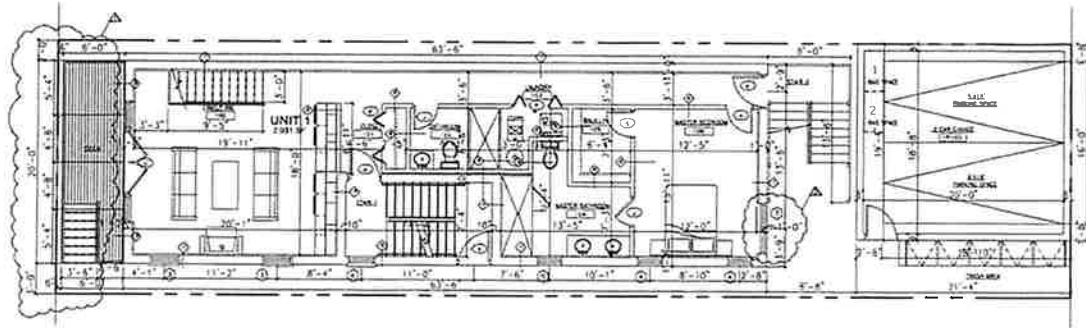
Building Address:  
308 S. Archer Ave.  
Chicago, IL 60608

**NEW 4 STORY 2 UNIT RESIDENTIAL BLDG. W/ DETACHED 2 CAR GARAGE**

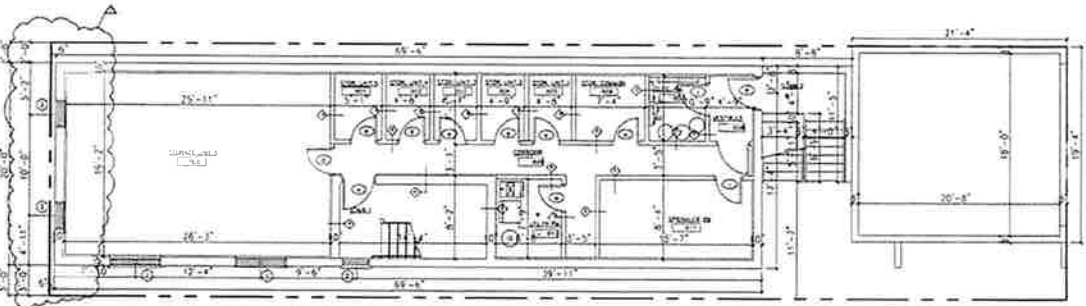
LANDSCAPE PLAN

**L-1**

PLAN FOR PERMITS



1 1ST FLOOR PLAN  
Scale: 1/8" = 1'-0"



2 BASEMENT PLAN  
Scale: 1/8" = 1'-0"

16' PUBLIC ALLEY

ARCHITECTURE  
INTERIORS  
PLANNING  
**kutlesa hernandez**  
ARCHITECTS  
627 Broadway  
New York, NY 10014

Professional Engineer  
No. 000000000  
State of Illinois  
Chicago, IL 60608



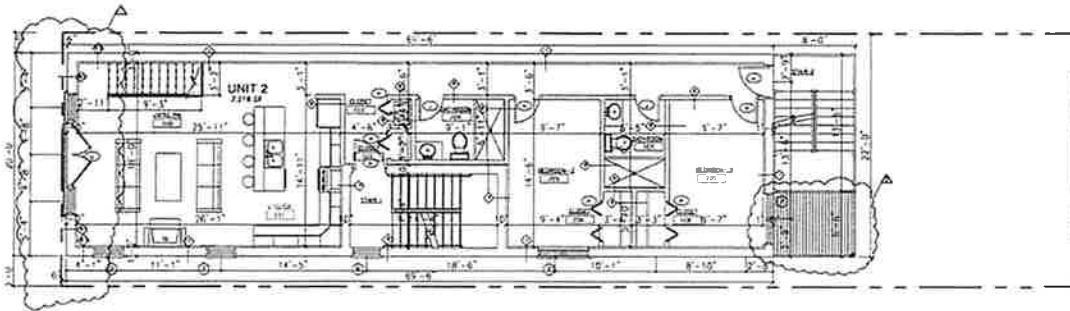
Building Address:  
2023 S. Archer Ave.  
Chicago, IL 60608  
Owner

NEW 4 STORY 2  
UNIT RESIDENTIAL  
BLDG. W/ DETACHED  
2 CAR GARAGE

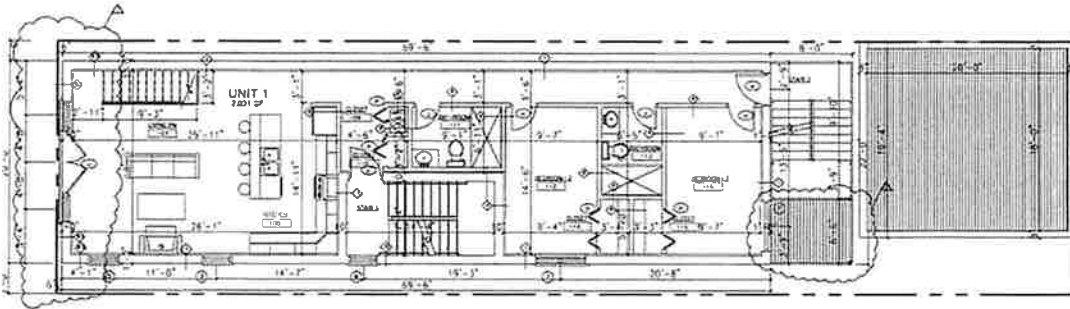
BASEMENT & 1ST  
FLOOR  
PLANS

**A-1**

EXCEL FOR PUBLICATION



1 3RD FLOOR PLAN  
Scale: 1/8" = 1'-0"



2 2ND FLOOR PLAN  
Scale: 1/8" = 1'-0"

ARCHITECTURE  
INTERIORS  
PLANNING  
**cutiesa hernandez**  
ARCHITECTS  
www.cutiesahernandez.com  
312.467.4046

Professional Engineer  
Professional Architect  
Professional Interior Designer  
Professional Landscape Architect  
Professional Planning Consultant  
Professional Urban Designer  
Professional Urban Planner  
Professional Urban Designer  
Professional Urban Planner  
Professional Urban Designer  
Professional Urban Planner



NO.	DATE	DESCRIPTION
1	10/15/14	PRELIMINARY
2	11/10/14	REVISED
3	12/15/14	REVISED
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5	02/15/15	REVISED
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100	01/15/23	REVISED

Building Address:  
3038 S. Archer Ave.  
Chicago, IL 60608

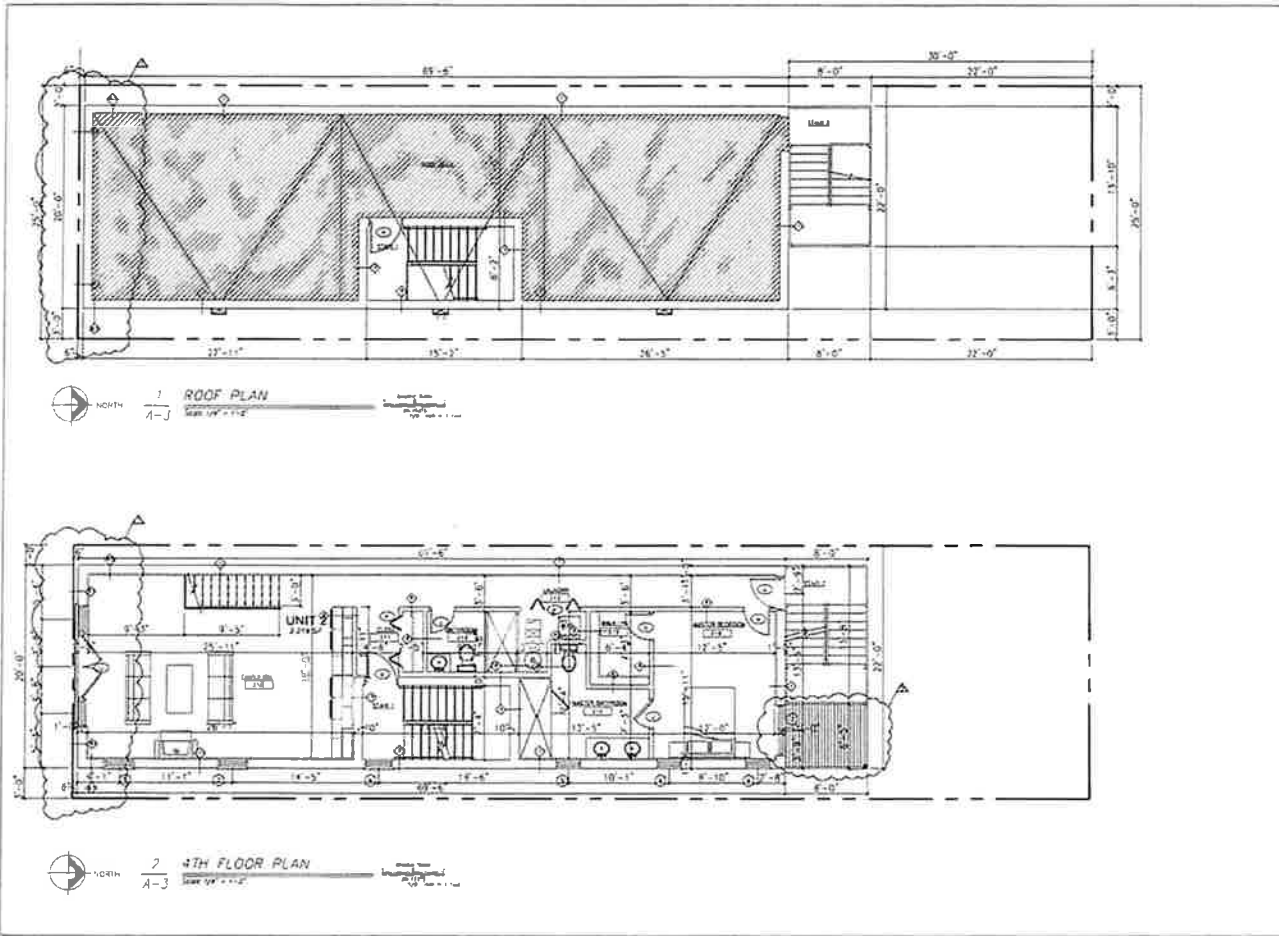
**NEW 4 STORY 2  
UNIT RESIDENTIAL  
BLDG. W/ DETACHED  
2 CAR GARAGE**

2ND & 3RD FLOOR  
PLANS

**A-2**



FINAL FOR PUBLICATION



ARCHITECTURE  
INTERIORS  
PLANNING  
**hermandez**  
ARCHITECTS  
3009 S. ARCHER AVE.  
CHICAGO, IL 60608  
www.hermandez-arch.com  
Tel: 312.467.6016

Number of units: 2  
Total area: 10,000 sq. ft.  
Total cost: \$10,000,000  
Construction start: 2010  
Construction end: 2011



NO.	DATE	DESCRIPTION
1	10/10/10	ISSUED FOR PERMITS
2	11/15/10	ISSUED FOR CONSTRUCTION
3	01/15/11	ISSUED FOR OCCUPANCY

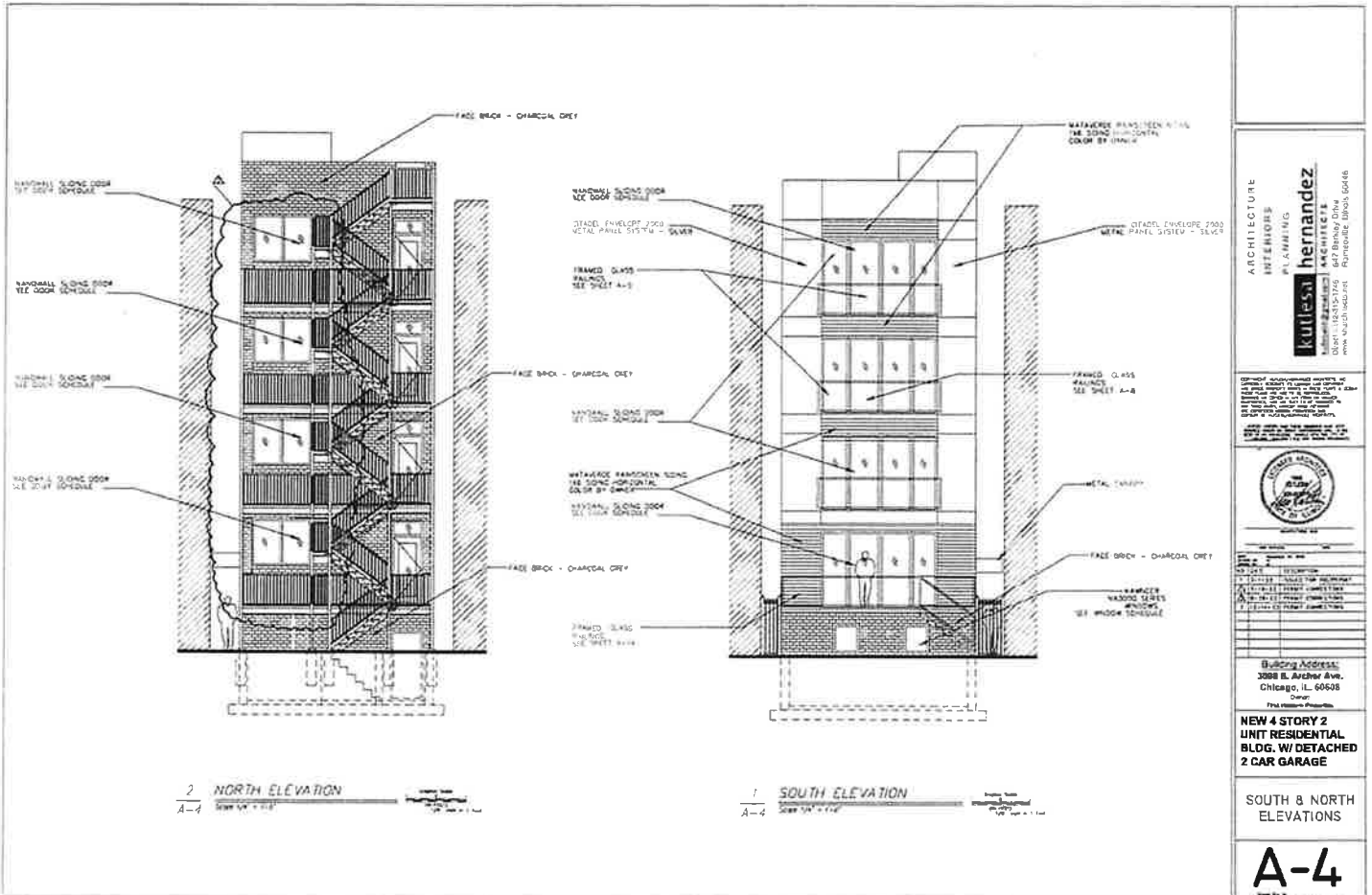
Building Address:  
3009 S. Archer Ave.  
Chicago, IL 60608  
Owner:  
King Medical Properties

**NEW 4 STORY 2  
UNIT RESIDENTIAL  
BLDG. W/ DETACHED  
2 CAR GARAGE**

4TH FLOOR & ROOF  
PLANS

**A-3**

FINAL FOR PUBLICATION



FINAL FOR PUBLICATION



1 EAST ELEVATION  
A-5

ARCHITECTURE  
INTERIORS  
PLANNING  
**kulesha hernandez**  
ARCHITECTS  
647 Bushy Drive  
Evanston, Illinois 60201  
www.kulesha.com

PROFESSOR OF ARCHITECTURE  
UNIVERSITY OF CHICAGO  
1100 S. EAST ASIAN LIBRARY  
CHICAGO, IL 60607  
TEL: 773-936-3333  
FAX: 773-936-3333  
www.kulesha.com



NO. 1	NO. 2	NO. 3	NO. 4	NO. 5	NO. 6	NO. 7	NO. 8	NO. 9	NO. 10

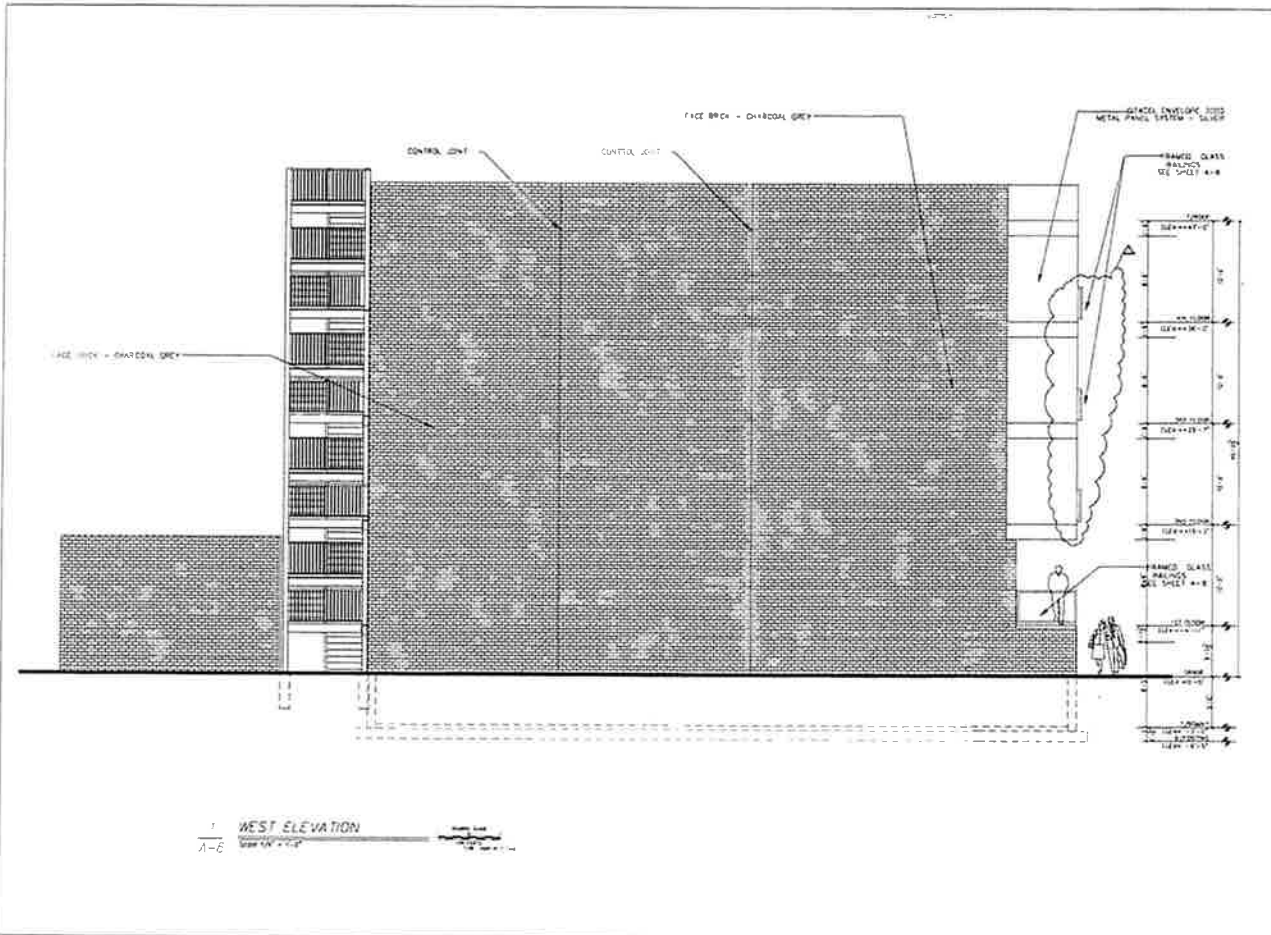
Building Address:  
3008 S. Archer Ave.  
Chicago, IL 60608  
Owner:  
New Heights Properties

**NEW 4 STORY 2  
UNIT RESIDENTIAL  
BLDG. W/ DETACHED  
2 CAR GARAGE**

EAST  
ELEVATION

**A-5**

FINAL FOR PUBLICATION



ARCHITECTURE  
INTERIORS  
PLANNING

**kutlesni herandez**  
ARCHITECTS

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TEL: 312.467.1000  
WWW.KUTLESNIHERANDEZ.COM

Professional Seal of the State of Illinois  
No. 000000000  
Exp. 12/31/2020

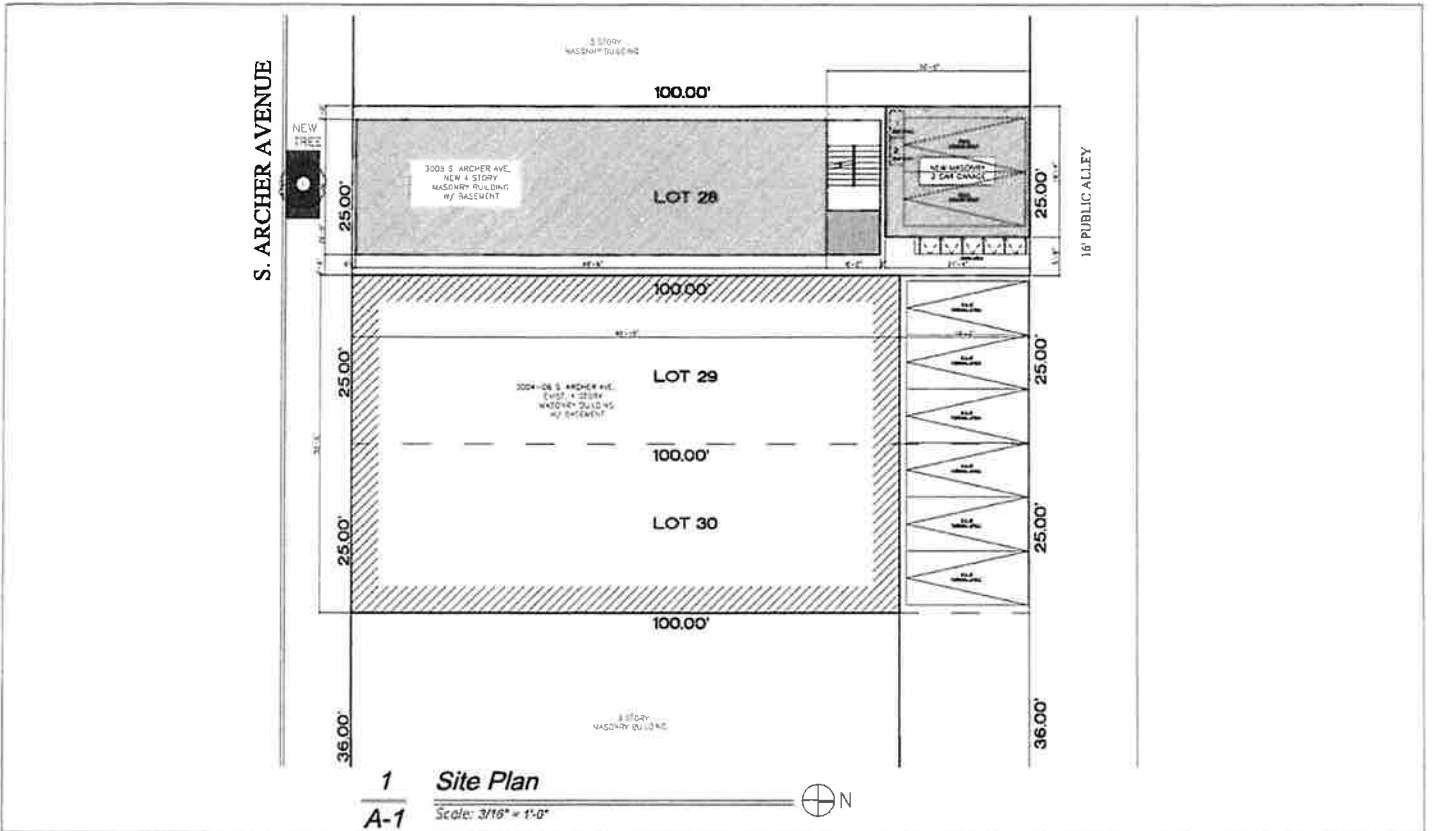
Building Address:  
3000 S. Archer Ave.  
Chicago, IL 60608

NEW 4 STORY 2  
UNIT RESIDENTIAL  
BLDG. W/ DETACHED  
2 CAR GARAGE

WEST  
ELEVATION

**A-6**

FINAL FOR PUBLICATION



FIRST WESTERN PROPERTIES

**kutlesa hernandez**  
ARCHITECTS

CHICAGO

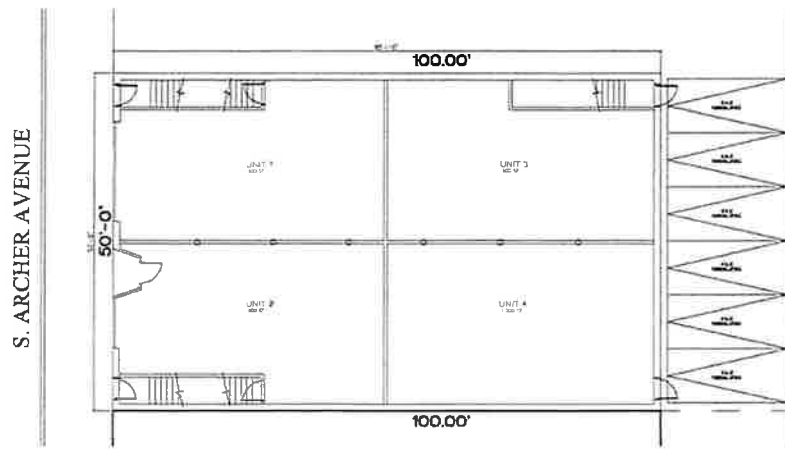
### EXISTING RESIDENTIAL BUILDING

3004-06 S. ARCHER AVE.

ILLINOIS

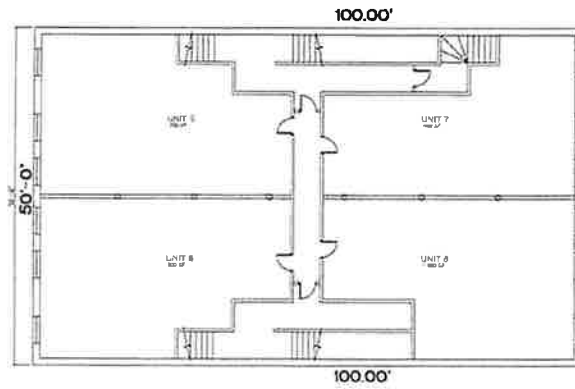
8.19.23

FINAL FOR PUBLICATION



1 1st Floor Plan  
A-1 Scale: 3/16" = 1'-0" 

FINAL FOR PUBLICATION



1 2nd Floor Plan  
A-1 Scale: 3/16" = 1'-0"



FIRST WESTERN PROPERTIES

**kutlesa hernandez**  
ARCHITECTS

CHICAGO

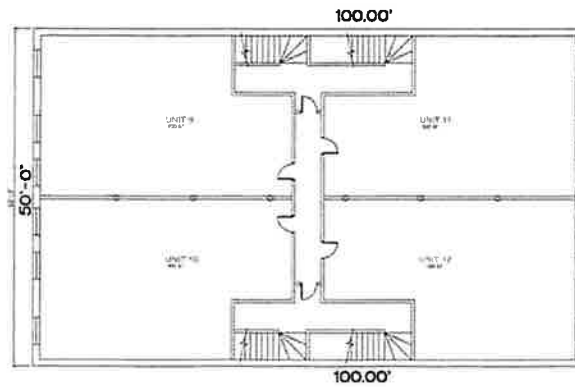
**EXISTING RESIDENTIAL BUILDING**


**3004-06 S. ARCHER AVE.**

ILLINOIS

9.19.23

11111 FOR PUBLICATION



**1** *3rd Floor Plan*  
**A-1** *Scale: 3/16" = 1'-0"* 

FIRST WESTERN PROPERTIES

**kutlesa hernandez**  
ARCHITECTS

CHICAGO

**EXISTING RESIDENTIAL BUILDING**

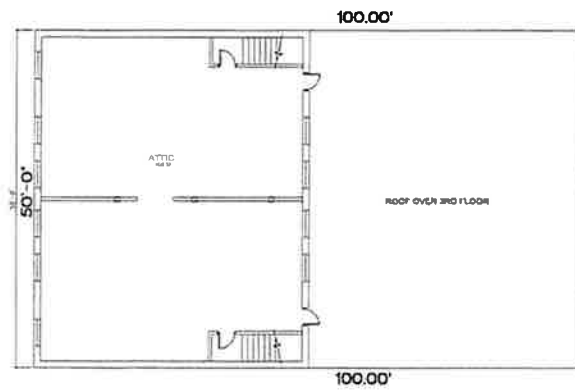
**3004-06 S. ARCHER AVE.**

ILLINOIS

8.15.23



FINAL FOR FUNDATION



1 Attic Plan - Non habitable space  
A-1 Scale: 3/16" = 1'-0" 

FIRST WESTERN PROPERTIES

**kutlesa hernandez**  
ARCHITECTS

CHICAGO

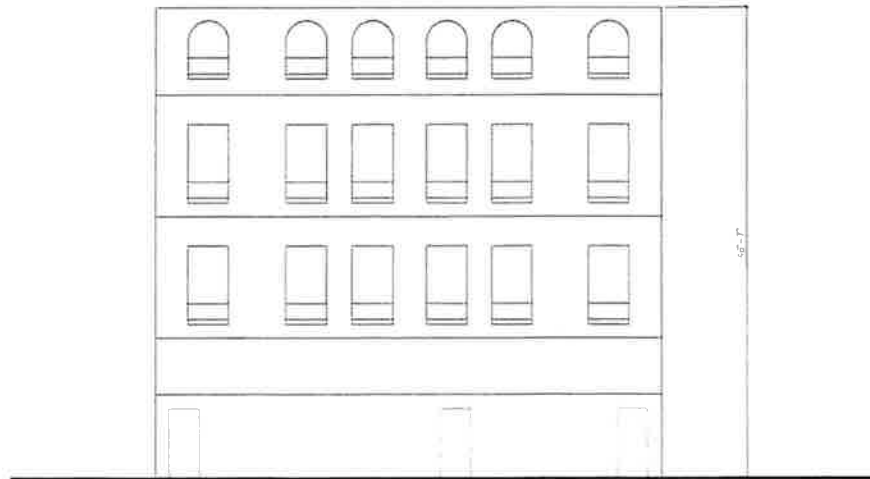
**EXISTING RESIDENTIAL BUILDING**

**3004-06 S. ARCHER AVE.**

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1 *South Elevation*  
A-1 *Scale: 1/8" = 1'-0"*

FIRST WESTERN PROPERTIES

**kutlesa hernandez**  
ARCHITECTS

CHICAGO

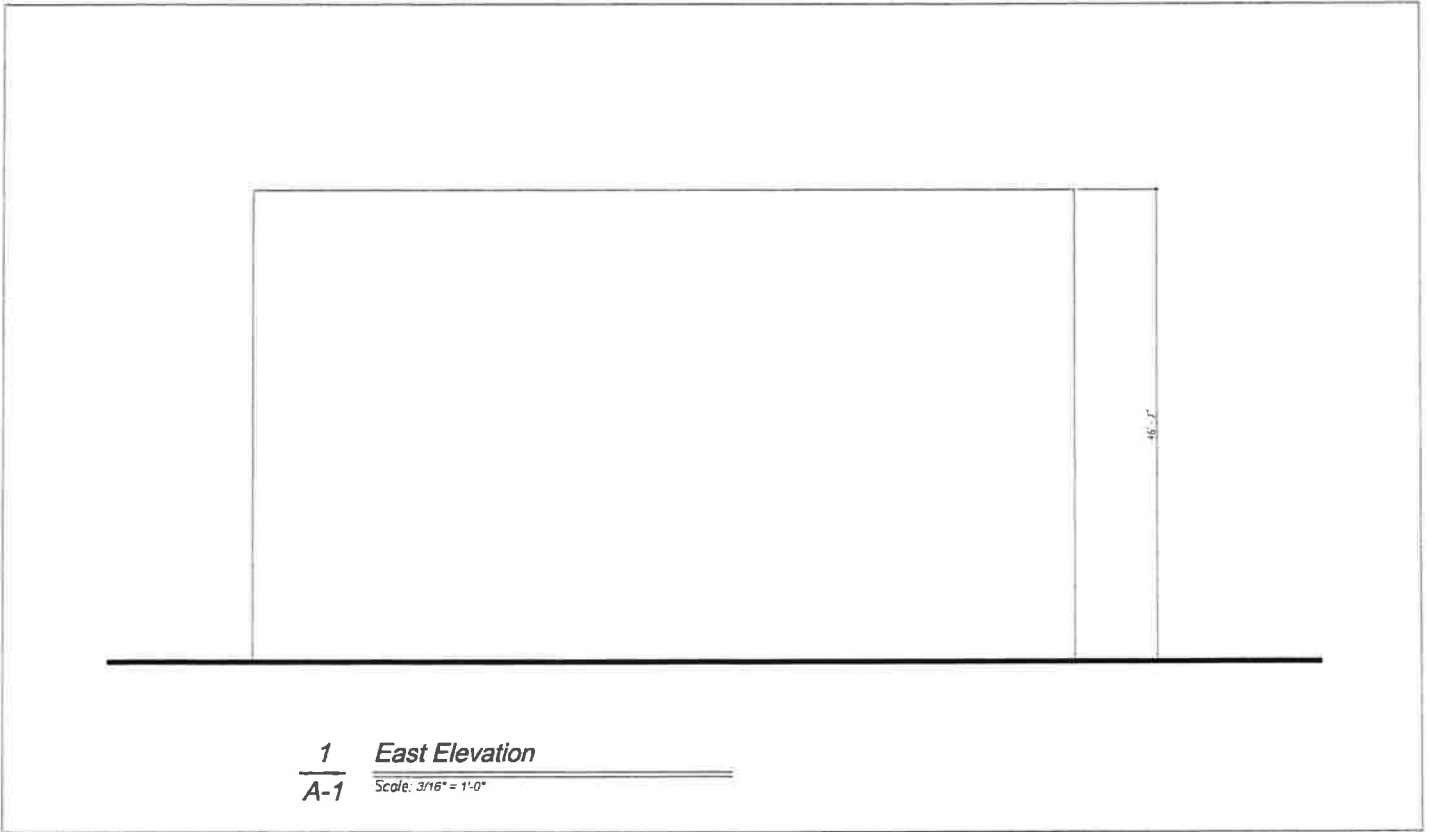
**EXISTING RESIDENTIAL BUILDING**

**3004-06 S. ARCHER AVE.**

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PLEASE FOR PUBLICATION



1 *East Elevation*  
A-1 *Scale: 3/16" = 1'-0"*

FIRST WESTERN PROPERTIES

**kutlesa hernandez**  
ARCHITECTS

**EXISTING RESIDENTIAL BUILDING**

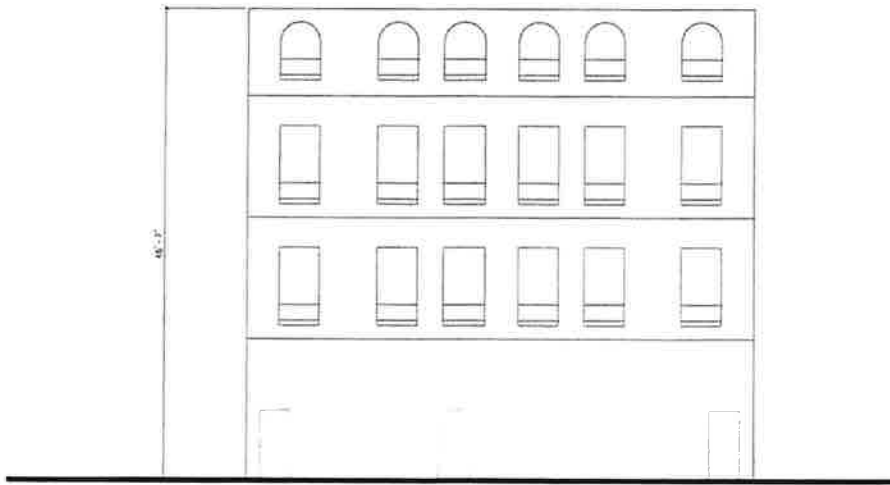
CHICAGO

**3004-06 S. ARCHER AVE.**

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1 North Elevation  
A-1 Scale: 1/4" = 1'-0"

FIRST WESTERN PROPERTIES

**kutlesa hernandez**  
ARCHITECTS

CHICAGO

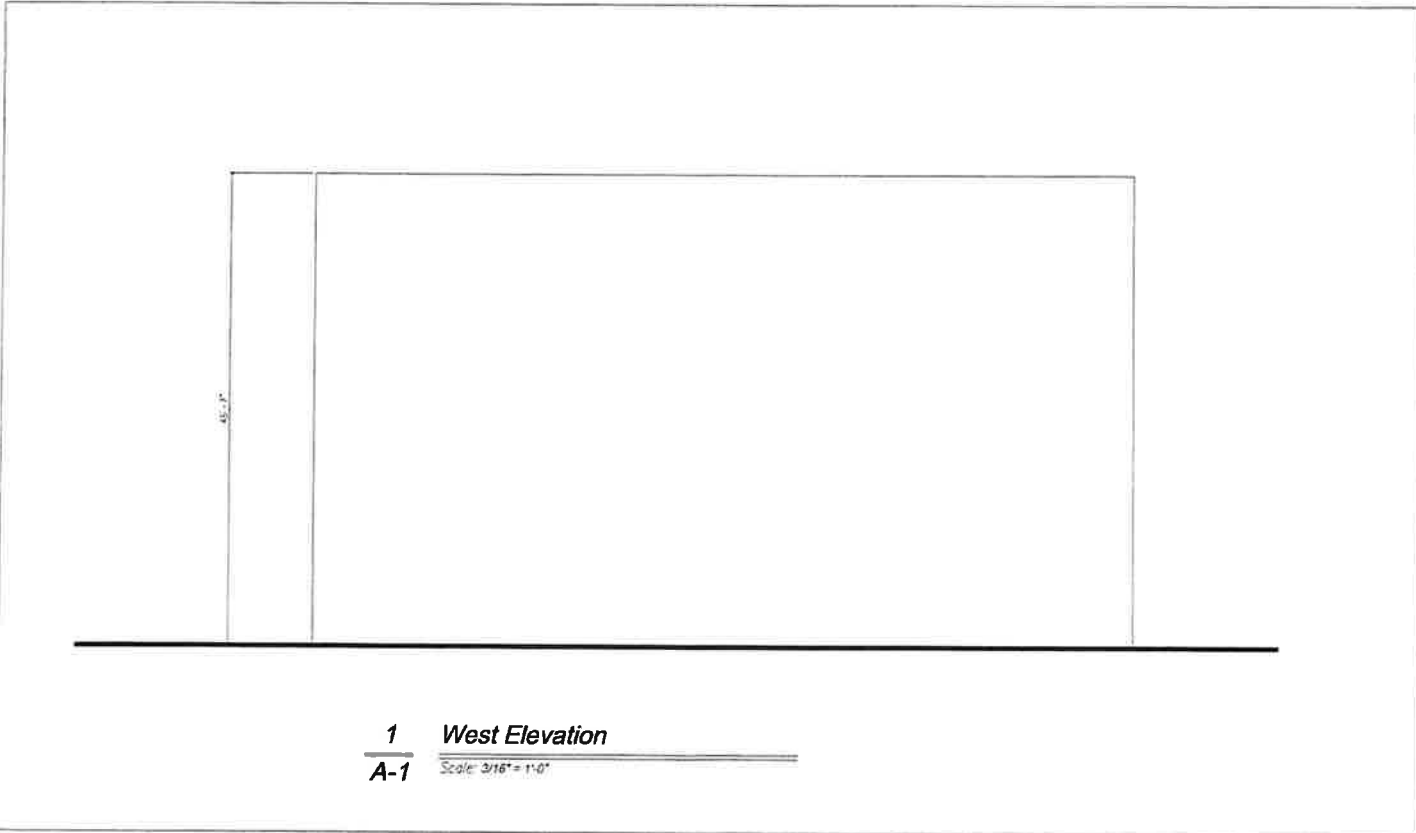
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9.19.23

FOR PUBLICATION



1 *West Elevation*  
A-1 *Scale: 3/16" = 1'-0"*

FIRST WESTERN PROPERTIES

**kutlesa hernandez**  
ARCHITECTS

**EXISTING RESIDENTIAL BUILDING**

CHICAGO

**3004-06 S. ARCHER AVE.**

ILLINOIS

9.18.23