

17-13-0303-C(1) Type 1 Narrative & Plans – 3348-3358 W. Foster Ave., Chicago, IL

Proposed Zoning: B3-3 Community Shopping District

Lot Area: 15,625 square feet

Proposed Land Use: The Applicant is proposing develop the subject property with a new five-story mixed-use building containing retail space at grade and forty-seven (47) residential units above. The proposed retail space (divisible) will occupy approximately 5,145 sq. ft. of floor area on the building's first floor. The forty-seven (47) residential units will be located on the four floors above grade. The proposed building will be masonry in construction. It will measure 57 feet and 9¼ inches in height. The subject property is a transit served location based on its proximity to the CTA Station at Kimball. The building will be supported by twenty-two (22) off-street parking spaces.

- (A) The Project's Floor Area Ratio: 59,094 square feet (3.78 FAR)
- (B) The Project's Density (Minimum Lot Area Per D.U.): 332.45 square feet per D.U.
(47 dwelling unit proposed)
- (C) The amount of off-street parking: *22 vehicle parking spaces
- (D) Setbacks:
 - a. Front Setback: 0
 - b. Rear Setback: 2 feet at the first floor;
30 feet for the residential floors
 - c. Side Setbacks:
 - West Side: 0 feet
 - East Side: 0 feet
- (E) Building Height: 57 feet – 9¼ inches

*The Applicant will seek an Administrative Adjustment to allow the proposed parking ratio consistent with the eTOD Ordinance.

Subject Property: 3348-3358 W. Foster Ave., Chicago, IL

Sec. 17-3-0308 Criteria for Transit-Served Locations – Supplemental Narrative Zoning Analysis

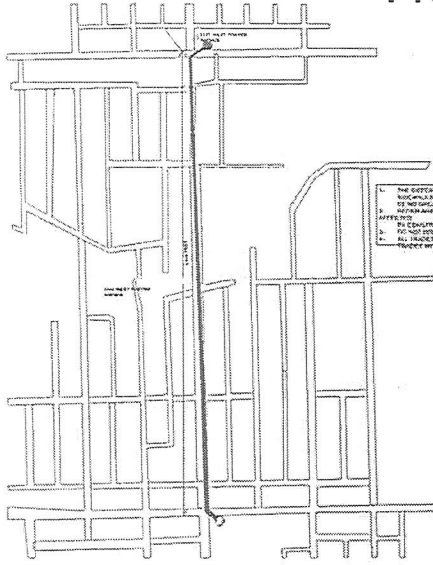
1. The project complies with the applicable standards of Sec. 17-10-0102-B because the subject property is located within 2,640 linear feet of the Kimball Brown Line CTA Station. The proposed mixed-use building will be supported by at least eight forty-seven (47) off-street bicycle parking spaces. The Applicant intends on seeking an Administrative Adjustment to permit the parking ratio.
2. The proposed mixed-use building will comply with Sec. 17-3-0504 because its front setback will be at the front property line, the entrance width does not exceed 12 ft., the entrance depth does not exceed the entrance width, the entrance is not more than two-stories in height, the proposed building elevations comply with the window transparency requirements, the front doors to the retail space are located along W. Foster Ave. While the future retail tenants have not yet been identified, the future retail uses will comply with the permitted uses in the B3 Zoning District.
3. The Transit Friendly Development Guide defines ‘transit friendly development’ as [d]evelopment which is oriented towards and integrated with adjacent transit. The proposed five-story mixed-use building incorporates accessibility and connectivity to the Kimball Brown Line CTA Station, which is located south of the subject property. The project also offers onsite bicycle parking and storage. The Applicant believes the project will help improve the pedestrian way along both W. Foster Ave. and N. Kimball Ave. for residents and other commuters traveling in the subject area.
4. The proposed mixed-use development contemplates forty-seven (47) residential units. Twenty-two (22) off-street parking will be provided. The Applicant intends on seeking an Administrative Adjustment to permit the parking reduction consistent with the eTOD Ordinance.
5. The Applicant believes the proposed mixed-use building will provide appropriate density in a north side neighborhood within which the subject property is located. Further, and based on the subject property’s proximity to mass transit, the Applicant believes the project complies with the Travel Demand Study and Management Plan rules promulgated by the Department of Transportation by serving an area in need.

PROPOSED MIXED USE 47 UNIT APARTMENTS

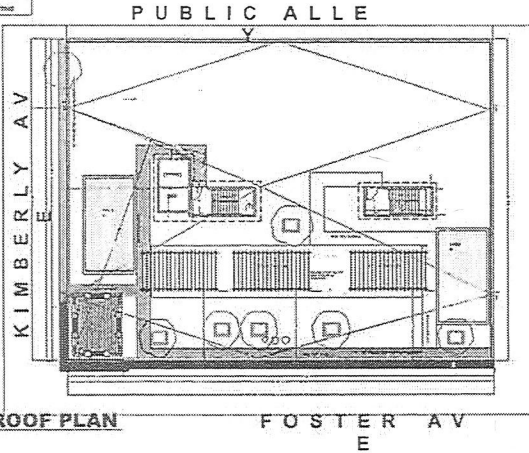
3352-3358 WEST FOSTER AVE

CHICAGO, ILLINOIS 60625

ERECT A NEW 5 STORY, MIXED-USE BUILDING
COMPLETE WITH 47 APARTMENTS AND 2 COMMERCIAL UNITS AND
AN ENCLOSED PARKING GARAGE FOR 22 VEHICLES/3 EV CHARGING STATIONS
TYPE 1B CONSTRUCTION-R2 AND B MIXED OCCUPANCIES
BUILDING WILL BE FULLY FIRE PROTECTED
AND MONITORED WITH A FIRE ALARM SYSTEMS



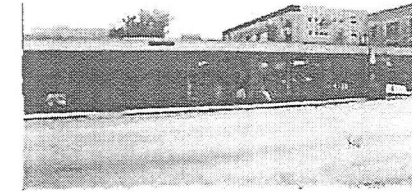
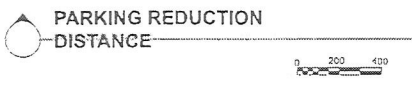
1. THE SETBACK MEASUREMENTS SHOWN HEREIN ARE BASED ON THE CONSTRUCTION PERMITS AS ISSUED BY THE CITY OF CHICAGO.
2. THE SETBACK MEASUREMENTS SHOWN HEREIN ARE BASED ON THE CONSTRUCTION PERMITS AS ISSUED BY THE CITY OF CHICAGO.
3. ALL DIMENSIONS TO FACE UNLESS OTHERWISE NOTED.



ROOF PLAN

NOTE:
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3. ALL DIMENSIONS TO FACE UNLESS OTHERWISE NOTED.

Code Compliance	Chicago City Ordinance	Section	Chicago Description	Code
1	44-01-01	1-1	CONSTRUCTION PERMITS	1-1
2	44-01-02	1-2	CONSTRUCTION PERMITS	1-2
3	44-01-03	1-3	CONSTRUCTION PERMITS	1-3
4	44-01-04	1-4	CONSTRUCTION PERMITS	1-4
5	44-01-05	1-5	CONSTRUCTION PERMITS	1-5
6	44-01-06	1-6	CONSTRUCTION PERMITS	1-6
7	44-01-07	1-7	CONSTRUCTION PERMITS	1-7
8	44-01-08	1-8	CONSTRUCTION PERMITS	1-8
9	44-01-09	1-9	CONSTRUCTION PERMITS	1-9
10	44-01-10	1-10	CONSTRUCTION PERMITS	1-10
11	44-01-11	1-11	CONSTRUCTION PERMITS	1-11
12	44-01-12	1-12	CONSTRUCTION PERMITS	1-12
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16	44-01-16	1-16	CONSTRUCTION PERMITS	1-16
17	44-01-17	1-17	CONSTRUCTION PERMITS	1-17
18	44-01-18	1-18	CONSTRUCTION PERMITS	1-18
19	44-01-19	1-19	CONSTRUCTION PERMITS	1-19
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21	44-01-21	1-21	CONSTRUCTION PERMITS	1-21
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45	44-01-45	1-45	CONSTRUCTION PERMITS	1-45
46	44-01-46	1-46	CONSTRUCTION PERMITS	1-46
47	44-01-47	1-47	CONSTRUCTION PERMITS	1-47



REQUIRED PERMITS - WITH A FEES

CONSTRUCTION PERMITS

MEASUREMENTS OF INSIDE WALLS OF UNITS

UNIT	SQUARE FOOTAGE
UNIT 1 - 2ND THRU 5TH - 2 BR - 557 SQFT	557
UNIT 2 - 2ND THRU 5TH - 1 BR - 643 SQFT	643
UNIT 3 - 2ND THRU 5TH - 1 BR - 643 SQFT	643
UNIT 4 - 2ND THRU 5TH - 1 BR - 650 SQFT	650
UNIT 5 - 2ND THRU 5TH - 2 BR - 815 SQFT	815
UNIT 6 - 2ND THRU 5TH - 2 BR - 865 SQFT	865
UNIT 7 - 2ND THRU 5TH - 2 BR - 1,102 SQFT	1,102
UNIT 8 - 2ND THRU 5TH - 1 BR - 841 SQFT	841
UNIT 9 - 2ND THRU 5TH - 1 BR - 665 SQFT	665
UNIT 10 - 2ND THRU 5TH - 1 BR - 826 SQFT	826
UNIT 11 - 2ND THRU 5TH - 1 BR - 428 SQFT	428
UNIT 12 - 2ND THRU 5TH - 1 BR - 424 SQFT	424
TOTAL	59,994 SQFT

MEASUREMENTS OF INSIDE WALLS OF UNITS

FLOOR	TYPE 'A'	TYPE 'B'
2ND	UNITS 6, 8, 12	UNITS 1, 2, 3, 4, 5, 7, 9, 10, 11
3RD	UNITS 2, 8	UNITS 1, 3, 4, 5, 6, 9, 12, 11, 12
4TH	UNITS 5, 6	UNITS 1, 2, 3, 4, 7, 8, 9, 10, 11, 12
5TH	UNITS 4, 10	UNITS 1, 2, 3, 5, 6, 7, 8, 9

FLOOR	TYPE 'A'	TYPE 'B'
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4TH	UNITS 5, 6	UNITS 1, 2, 3, 4, 7, 8, 9, 10, 11, 12
5TH	UNITS 4, 10	UNITS 1, 2, 3, 5, 6, 7, 8, 9

NOTE:
TYPE 'A' UNITS:
PROVIDE CONDUIT LINES AT TIME OF CONSTRUCTION IN 20% OF TYPE 'A' UNITS AND 20% OF THE REMAINING UNITS TO ALLOW FOR INSTALLATION ON AS NEEDED BASS VISUAL ALARMS MUST BE VISIBLE IN ALL ROOMS AND SPACES FOR THE ABOVE UNITS EXCEPT UTILITY ROOMS AND CLOSETS
20% OF TYPE 'A' UNITS = 2 UNITS
20% OF TYPE 'B' UNITS = 8 UNITS

ENERGY CONSERVATION CODE COMPLIANCE
I CERTIFY THAT I AM A LEED AP HOMES A REGISTERED ENERGY PROFESSIONAL AND BELIEVE THAT THE ATTACHED PLANS FOR 3352 WEST FOSTER AVENUE FULLY COMPLY WITH THE REQUIREMENTS OF CHAPTER 18-13, ENERGY CONSERVATION, OF THE MUNICIPAL CODE OF CHICAGO AS EFFECTIVE 4-22-2009
SIGNED: 601.0113594 EXP. DATE 11/2024
ARCHITECT LICENSE NUMBER:

STATEMENT OF COMPLIANCE
I HAVE PREPARED, OR CAUSED TO BE PREPARED UNDER MY DIRECT SUPERVISION, THE ATTACHED PLANS AND SPECIFICATIONS AND STATE THAT TO THE BEST OF MY KNOWLEDGE AND BELIEF AND TO THE EXTENT OF MY CONTRACTUAL OBLIGATION, THEY ARE IN COMPLIANCE WITH THE VILLAGE OF HARVARD, ILLINOIS, THE ENVIRONMENTAL BARBERS ACT, (415 ILCS 25) AND ILLINOIS ACCESSIBILITY CODE (711 ADM. CODE 400)
SIGNED: MAJID DARWISH 601.0113594 EXP. DATE 11/2024 ARCHITECT

T-2

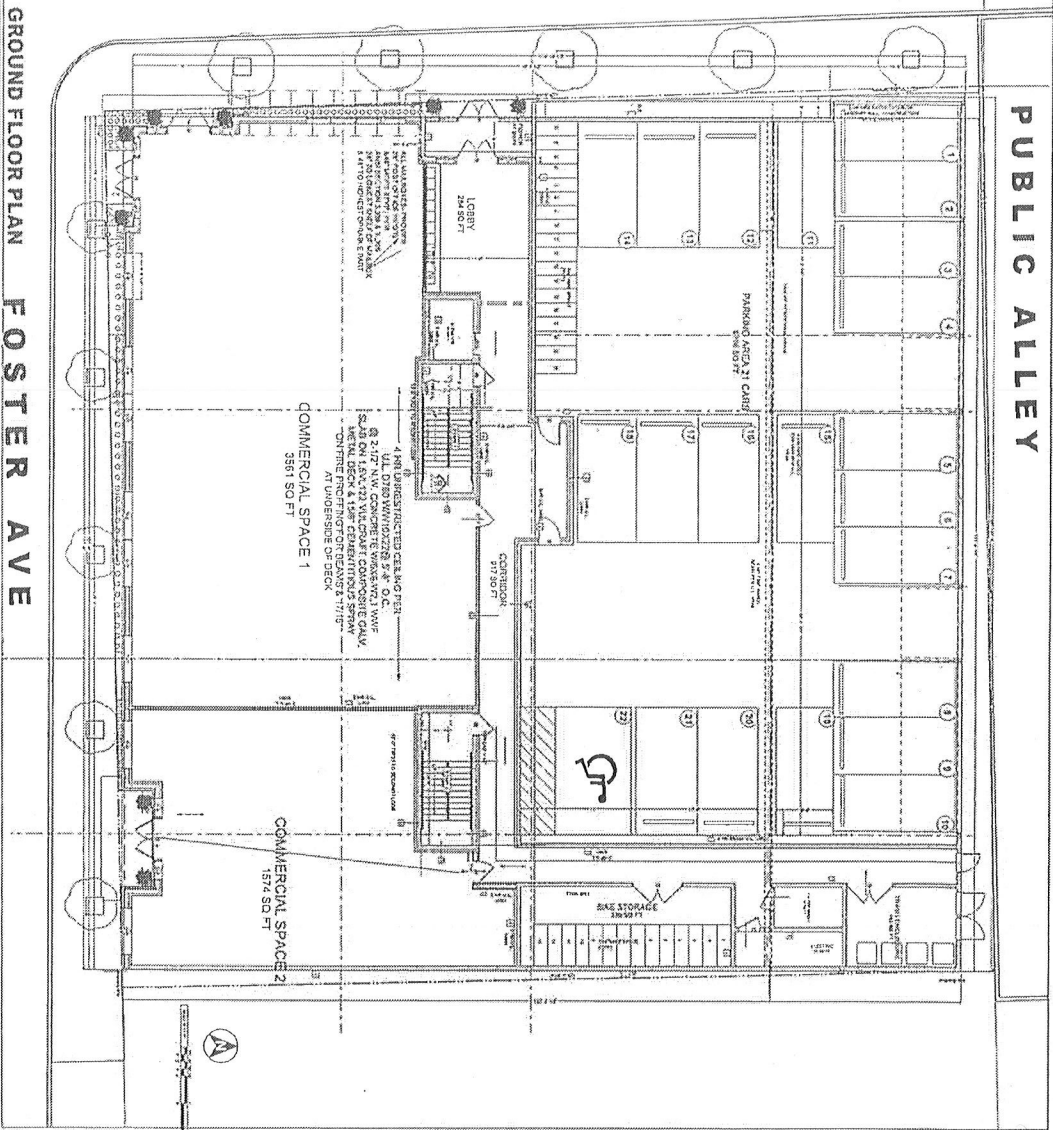
3352 WEST FOSTER AVE
CHICAGO, IL 60625
TITLE SHEET

MIDARWISH ARCHITECT
ARCHITECTURE INTERIOR DESIGN - CONSTRUCTION DOCUMENTS
18400 GREENLEAF CT., THURLEY PARK, ILL., 7709 9332-3294
MIDARWISHARCHITECT.COM

DATE REVISION:
02-03-2025
REVISIONS:
SIGNED FOR PROJECT



ISSUED FOR REVIEW
PROJECT & CONSTRUCTION



KIMBELL AVE
PUBLIC ALLEY
FOSTER AVE
GROUND FLOOR PLAN

MEANS OF EGRESS/OCCUPANT LOADS

GROUND FLOOR: 12 APARTMENTS BILLS PERSONS APARTMENT: 1 PERSONS/ROOM (3) 2BFL, 1 STUDIO AND 3 1BRFL = 15 BED ROOMS + 6X1.5(15X1) = 33 PERSONS/ROOM (3) PERSONS TOTAL OCCUPANT LOAD FOR ALL RESIDENTIAL APARTMENTS FLOORS 2-4: 128 PERSONS
21 NUMBER OCCUPANT = 143 PERSONS, 107 TONNAGE PROVIDED WITH ONE GROUND FLOOR IN DOUBLE END UNIT RESIDENTIAL UNIT

FLOOR	TYPE 'X'	TYPE 'Y'	CONDUIT LINES	TYPE 'X'	CONDUIT LINES	TYPE 'Y'
2ND	UNITS 1A, 1B, 1C	UNITS 1D, 1E, 1F, 1G, 1H, 1I, 1J, 1K, 1L, 1M, 1N, 1O, 1P, 1Q, 1R, 1S, 1T, 1U, 1V, 1W, 1X, 1Y, 1Z	UNITS 1A, 1B, 1C, 1D, 1E, 1F, 1G, 1H, 1I, 1J, 1K, 1L, 1M, 1N, 1O, 1P, 1Q, 1R, 1S, 1T, 1U, 1V, 1W, 1X, 1Y, 1Z	UNITS 1A, 1B, 1C	UNITS 1D, 1E, 1F, 1G, 1H, 1I, 1J, 1K, 1L, 1M, 1N, 1O, 1P, 1Q, 1R, 1S, 1T, 1U, 1V, 1W, 1X, 1Y, 1Z	UNITS 1A, 1B, 1C
3RD	UNITS 2A, 2B, 2C, 2D, 2E, 2F, 2G, 2H, 2I, 2J, 2K, 2L, 2M, 2N, 2O, 2P, 2Q, 2R, 2S, 2T, 2U, 2V, 2W, 2X, 2Y, 2Z	UNITS 2A, 2B, 2C, 2D, 2E, 2F, 2G, 2H, 2I, 2J, 2K, 2L, 2M, 2N, 2O, 2P, 2Q, 2R, 2S, 2T, 2U, 2V, 2W, 2X, 2Y, 2Z	UNITS 2A, 2B, 2C, 2D, 2E, 2F, 2G, 2H, 2I, 2J, 2K, 2L, 2M, 2N, 2O, 2P, 2Q, 2R, 2S, 2T, 2U, 2V, 2W, 2X, 2Y, 2Z	UNITS 2A, 2B, 2C, 2D, 2E, 2F, 2G, 2H, 2I, 2J, 2K, 2L, 2M, 2N, 2O, 2P, 2Q, 2R, 2S, 2T, 2U, 2V, 2W, 2X, 2Y, 2Z	UNITS 2A, 2B, 2C, 2D, 2E, 2F, 2G, 2H, 2I, 2J, 2K, 2L, 2M, 2N, 2O, 2P, 2Q, 2R, 2S, 2T, 2U, 2V, 2W, 2X, 2Y, 2Z	UNITS 2A, 2B, 2C, 2D, 2E, 2F, 2G, 2H, 2I, 2J, 2K, 2L, 2M, 2N, 2O, 2P, 2Q, 2R, 2S, 2T, 2U, 2V, 2W, 2X, 2Y, 2Z
4TH	UNITS 3A, 3B, 3C, 3D, 3E, 3F, 3G, 3H, 3I, 3J, 3K, 3L, 3M, 3N, 3O, 3P, 3Q, 3R, 3S, 3T, 3U, 3V, 3W, 3X, 3Y, 3Z	UNITS 3A, 3B, 3C, 3D, 3E, 3F, 3G, 3H, 3I, 3J, 3K, 3L, 3M, 3N, 3O, 3P, 3Q, 3R, 3S, 3T, 3U, 3V, 3W, 3X, 3Y, 3Z	UNITS 3A, 3B, 3C, 3D, 3E, 3F, 3G, 3H, 3I, 3J, 3K, 3L, 3M, 3N, 3O, 3P, 3Q, 3R, 3S, 3T, 3U, 3V, 3W, 3X, 3Y, 3Z	UNITS 3A, 3B, 3C, 3D, 3E, 3F, 3G, 3H, 3I, 3J, 3K, 3L, 3M, 3N, 3O, 3P, 3Q, 3R, 3S, 3T, 3U, 3V, 3W, 3X, 3Y, 3Z	UNITS 3A, 3B, 3C, 3D, 3E, 3F, 3G, 3H, 3I, 3J, 3K, 3L, 3M, 3N, 3O, 3P, 3Q, 3R, 3S, 3T, 3U, 3V, 3W, 3X, 3Y, 3Z	UNITS 3A, 3B, 3C, 3D, 3E, 3F, 3G, 3H, 3I, 3J, 3K, 3L, 3M, 3N, 3O, 3P, 3Q, 3R, 3S, 3T, 3U, 3V, 3W, 3X, 3Y, 3Z

PROVIDE CONDUIT LINES AT TIME OF CONSTRUCTION
IN 20% OF TYPE 'X' UNITS AND 20% OF THE REMAINING UNITS TO ALLOW FOR INSTALLATION ON AS NEEDED BASIS
VISUAL CLARITY MUST BE MAINTAINED IN ALL ROOMS AND STAIRS AND CLOSETS THE ABOVE UNITS EXCEPT UTILITY ROOMS AND CLOSETS
20% OF TYPE 'Y' UNITS = 2 UNITS
20% OF TYPE 'B' UNITS = 8 UNITS

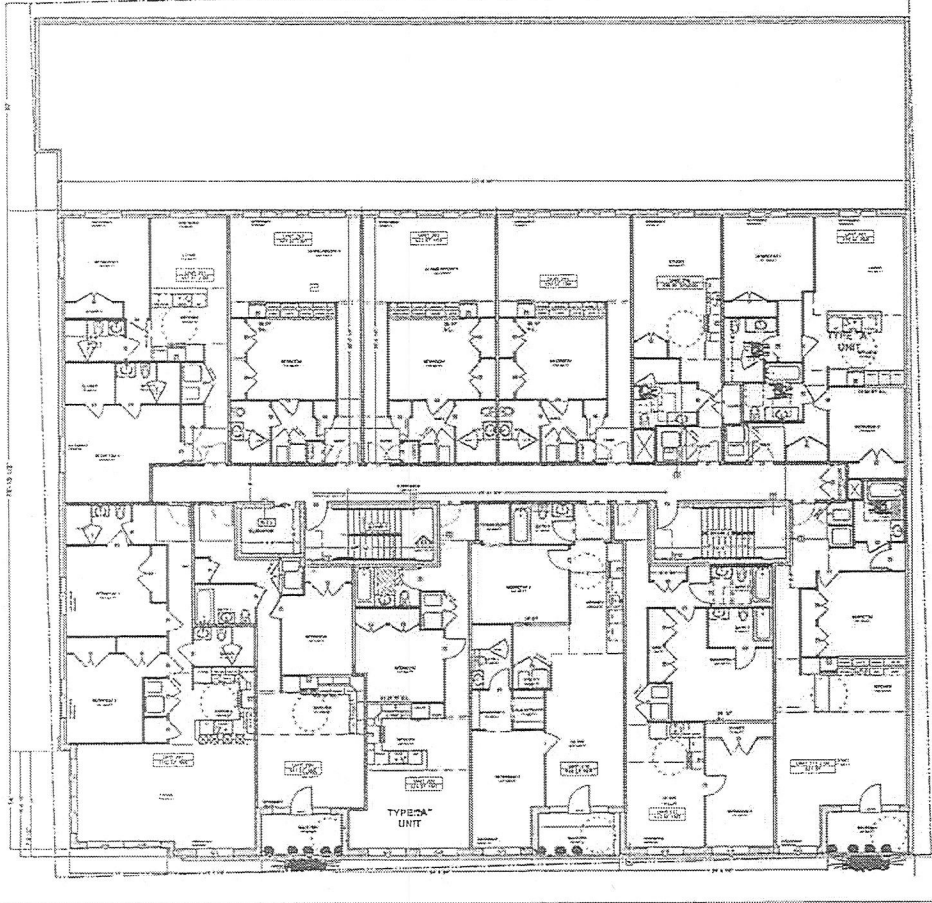
- NOTE:**
- 1. ALL HARDWARE TO BE LEVER TYPE
 - 2. ALL ELECTRICAL OUTLETS TO BE NEMA 1-15R
 - 3. ALL SWITCHES TO BE 15 AMP
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MI DARWISH ARCHITECT
ARCHITECTURE - INTERIOR DESIGN - CONSTRUCTION DOCUMENTS
18400 GREENLEAF CT • TINLEY PARK, IL • 708.532.3294 •
MAJDI_DARWISH@YAHOO.COM

PROJECT: 3352 WEST FOSTER AVE
CHICAGO, IL 60625
GROUND FLOOR PLAN
SCALE: 1/8" = 1'-0"

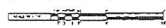
DATE: _____
DRAWN BY: _____
CHECKED BY: _____
APPROVED BY: _____

PROFESSIONAL SEAL
03-03-2023
STUDY FOR REVISED PERMIT & CONSTRUCTION



SQUARE FOOTAGE OF
 UNITS:
 UNIT 1: 2 BR - 857 SQFT
 UNIT 2: 1 BR - 649 SQFT
 UNIT 3: 1 BR - 649 SQFT
 UNIT 4: 1 BR - 653 SQFT
 UNIT 5: STUDIO 425 SQFT
 UNIT 6 - 7 BR - 895 SQFT
 UNIT 7 - 2 BR - 1,102 SQFT
 UNIT 8: 1 BR - 641 SQFT
 UNIT 9: 1 BR - 665 SQFT
 UNIT 10: 1 BR - 626 SQFT
 UNIT 11: 1 BR - 609 SQFT
 UNIT 12: 1 BR - 624 SQFT

SECOND FLOOR PLAN



SECTION AT TREAD
 N.T.S.

SECTION AT
 STAIR
 N.T.S.

ELEVATOR PIT
 DETAIL
 3/8"=1'-0"

TYPICAL
 STAIR
 N.T.S.

Sheet
A-2
 Title
SECOND FLOOR PLAN
 Date
 1/20/11

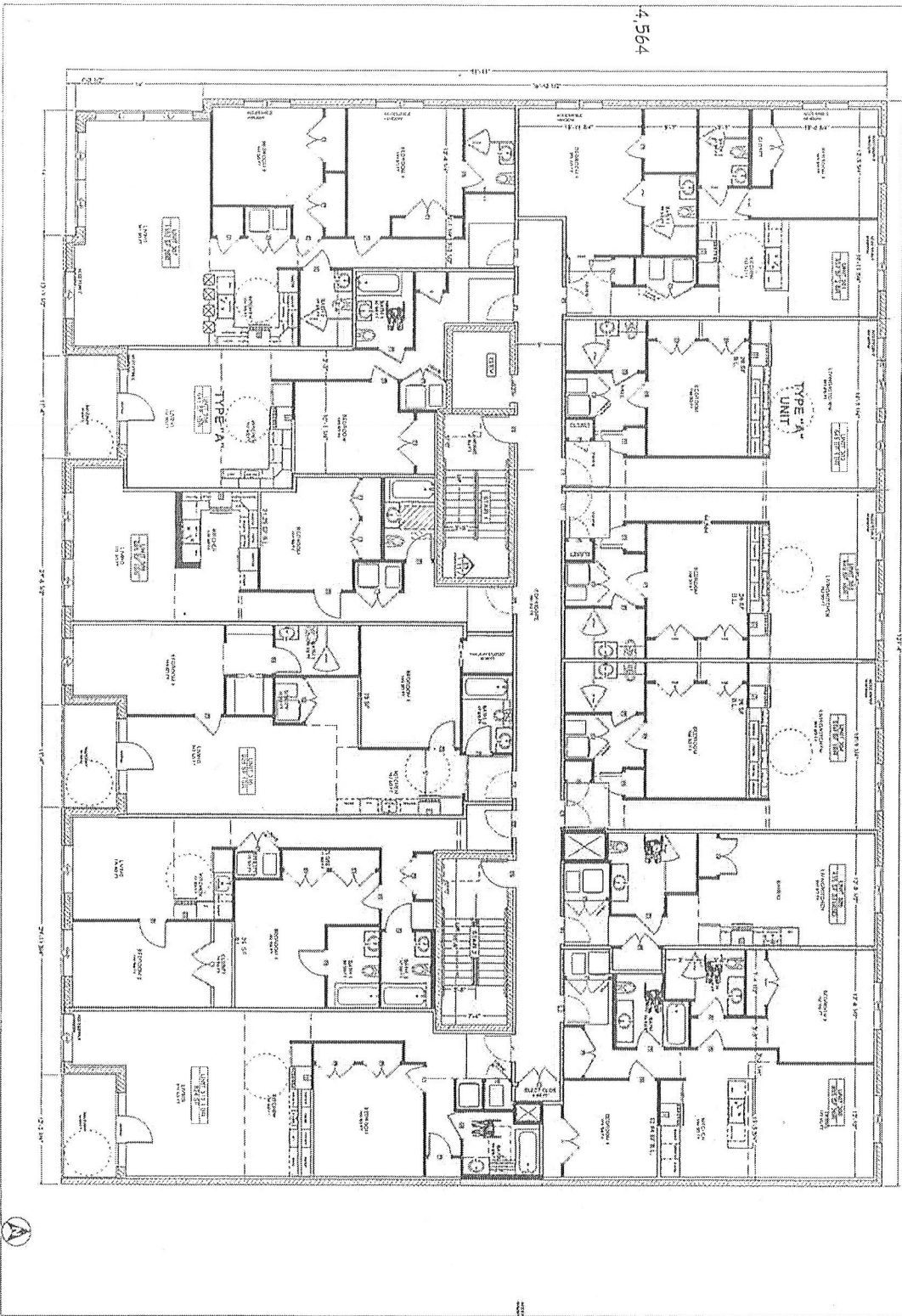
MIDARWISH ARCHITECT
 ARCHITECTURE - INTERIOR DESIGN - CONSTRUCTION DOCUMENTS
 18400 GREENLEAF CT. • THUNDERBOLT, ILL. 60108
 TEL: 630.999.9999 FAX: 630.999.9998
 WWW.MIDARWISH.COM

NO. 02-03-2023-
 PROJECT NO.
 ISSUED FOR PERMIT

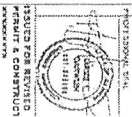


ISSUED FOR REVIEW
 PERMIT & CONSTRUCTION

Final for Publication



THIRD FLOOR PLAN

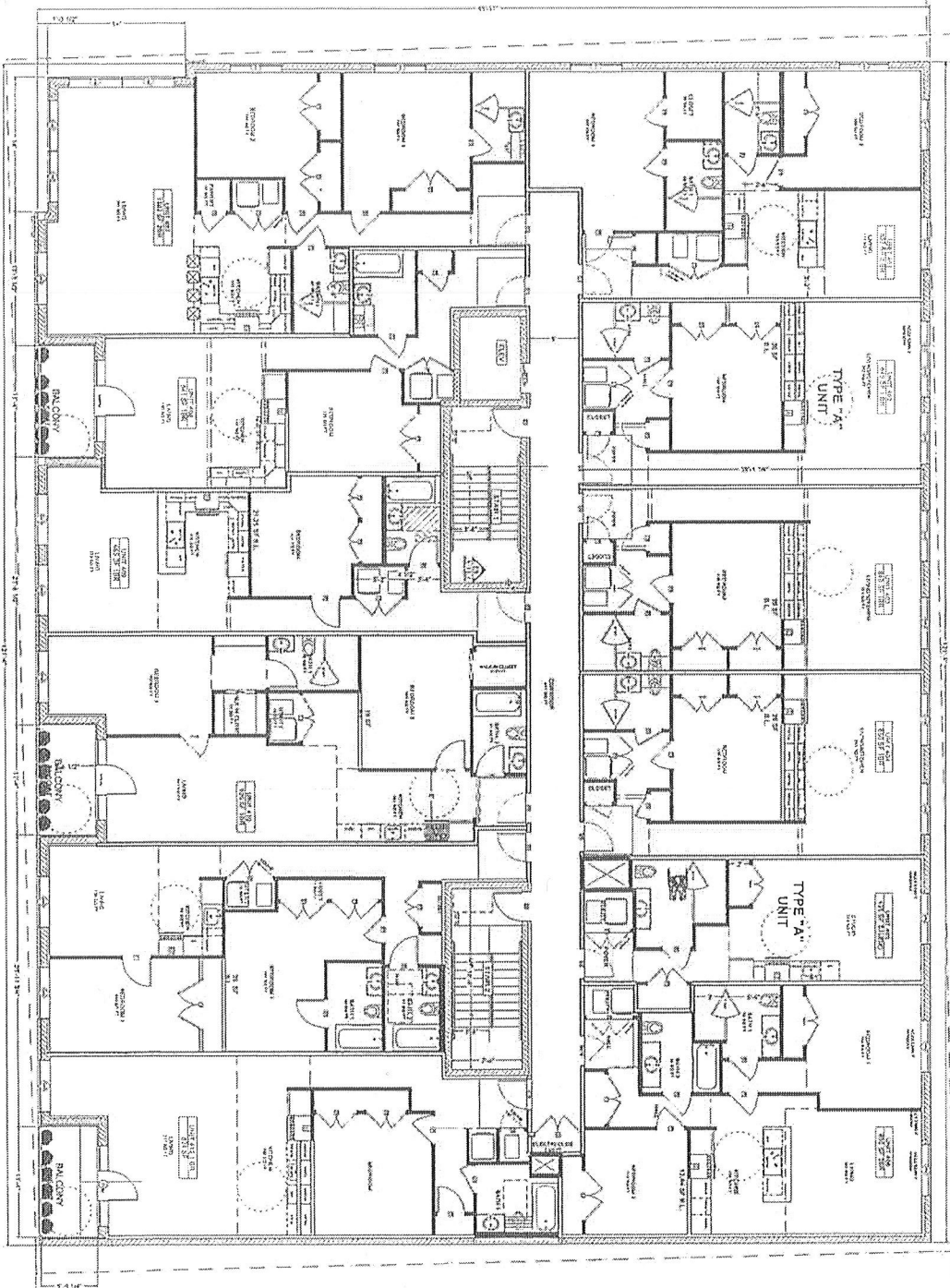


PROJECT: 3352 WEST FOSTER AVE
CHICAGO, IL 60625
DATE: 07-08-2023-01
SCALE: 1/8" = 1'-0"

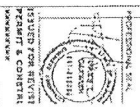
M I DARWISH ARCHITECT
ARCHITECTURE - INTERIOR DESIGN - CONSTRUCTION DOCUMENTS
18400 GREENLEAF CT • FINLEY PARK, IL • 708.932.3294 •
M.I.DARWISH@YAHOO.COM

PROJECT: 3352 WEST FOSTER AVE
CHICAGO, IL 60625
THIRD FLOOR PLAN
DATE: 07-08-2023-01
SCALE: 1/8" = 1'-0"
SHEET: A-3

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FOURTH FLOOR PLAN



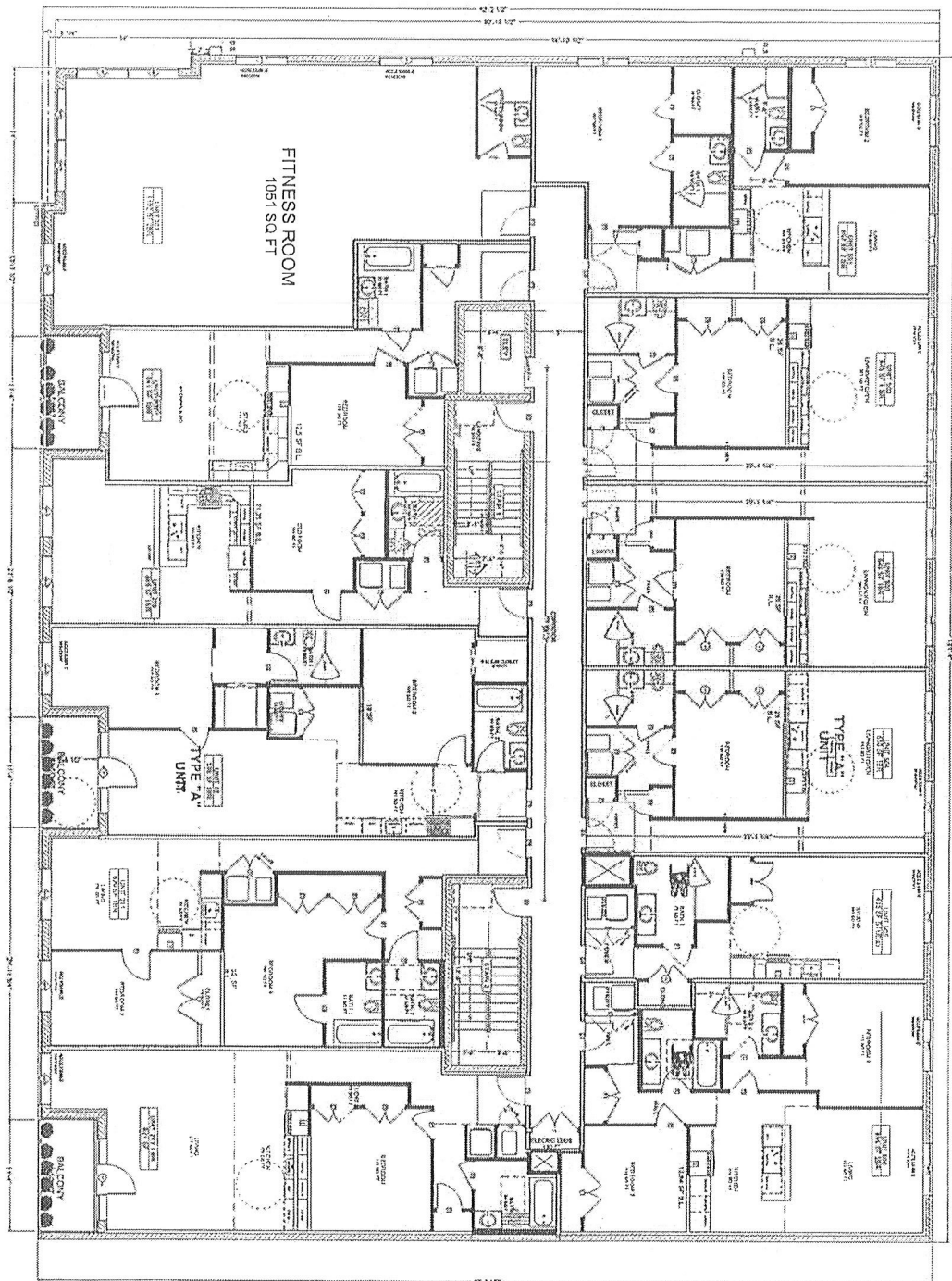
02-09-2023
M I DARWISH ARCHITECT

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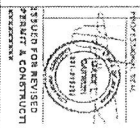
PROJECT: 3352 WEST FOSTER AVE
CHICAGO, IL 60625
FOURTH FLOOR PLAN
A-4



FIFTH FLOOR PLAN



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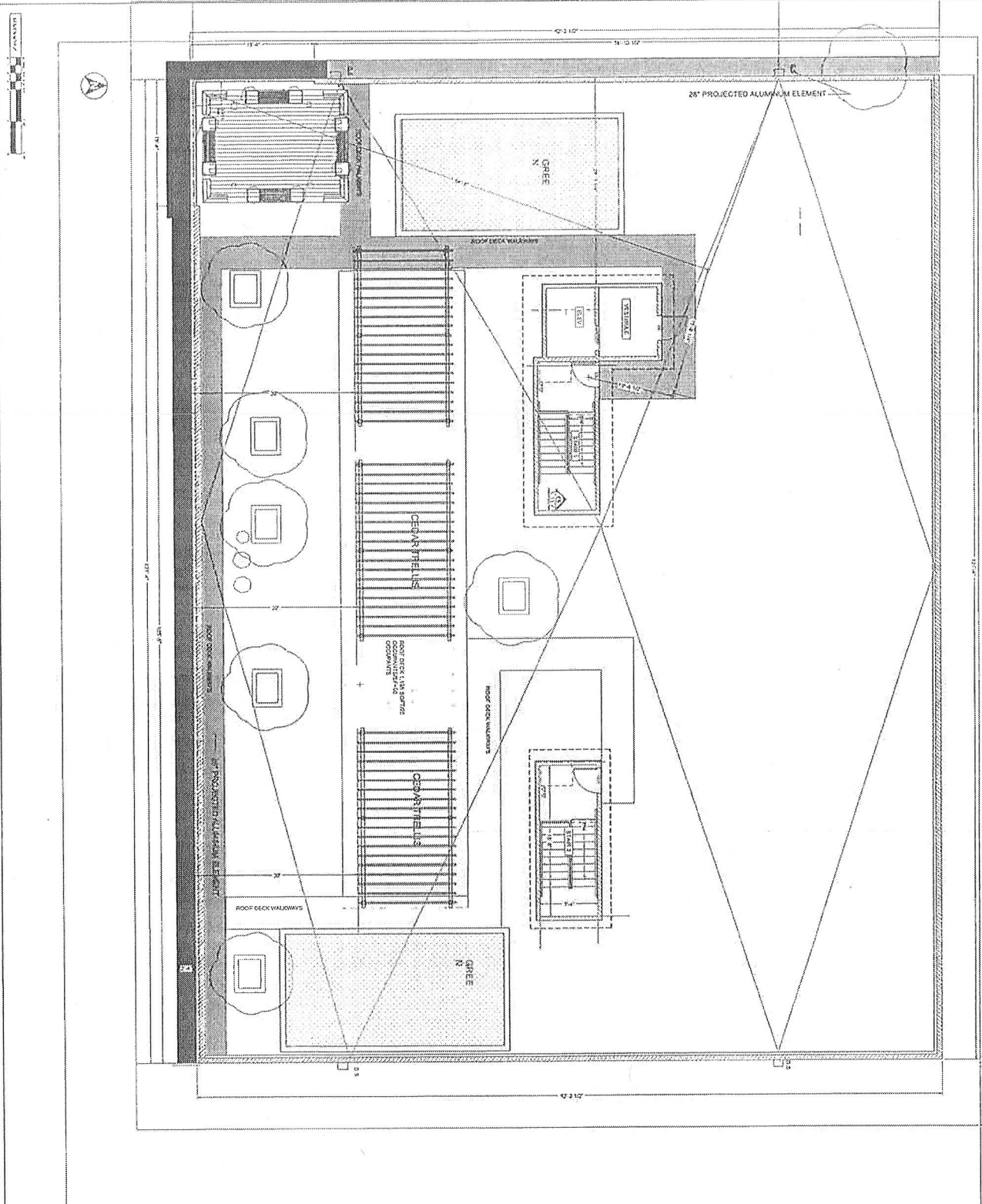


DATE: 02-05-2023, 01
 PROJECT: 3352 WEST FOSTER AVE
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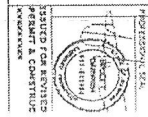
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 MAJD_DARWISH@YAHOO.COM

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 CHICAGO, IL 60625
FIFTH FLOOR PLAN
 DATE: SCALE:

DATE: A-5
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ROOF DECK PLAN	
DATE:	SCALE:
PAGE A-6 SIGNATURE M. Darwish	

SEND FOR REVIEW
 02-07-2023-01



FRONT ELEVATION

NOTE RELEASE

- (1) FACE BRICK TO BE SELECTED BY OWNER
- (2) DARK BRICKWORK
- (3) DARK BRICK/CEMENTER BLOCK CORNER
- (4) DARK BRICK ALUMINUM CORNER
- (5) 1/2" ASP. STONE VENER TO BE SELECTED BY OWNER
- (6) DARK ALUMINUM CORNER
- (7) LIGHT TONE BRICK
- (8) SPA 1/2" FACE BRICK
- (9) CONCRETE FOUNDATION PER STRUCTURAL PLANS

NO.	DESCRIPTION	QTY	UNIT	PRICE	TOTAL	PERCENT	AMOUNT
1	FACE BRICK TO BE SELECTED BY OWNER						
2	DARK BRICKWORK						
3	DARK BRICK/CEMENTER BLOCK CORNER						
4	DARK BRICK ALUMINUM CORNER						
5	1/2" ASP. STONE VENER TO BE SELECTED BY OWNER						
6	DARK ALUMINUM CORNER						
7	LIGHT TONE BRICK						
8	SPA 1/2" FACE BRICK						
9	CONCRETE FOUNDATION PER STRUCTURAL PLANS						

NOTE:
 PROVIDE ACCESSIBLE WINDOWS IN RESIDENTIAL TYPE "A" PER CHAPTER 15-11-108-13.1, ICC/ANSI A117.1-2003 CHAPTER 505 AND 105.11
 WHEN ONE ACCESSIBLE OPERABLE WINDOW ARE MUST PROVIDED FOR EACH ROOM WITH EXCEPT OF KITCHENS AND BATH PER CAC CHAPTER 15-11-109-12.1 AND ICC/ANSI A117.1-2003 CHAPTER 508
 1- ACCESSIBLE ROUTE TO ACCESSIBLE WINDOWS
 2- CONTROL AND OPERATION MECHANISM 15" MAX
 3- MAXIMUM FORCE TO OPERATE
 PROVIDE THIS NOTE TO ON ALL PERMIT SETS NEXT TO THE WINDOW SCHEDULE
 COMMON AREA INCLUDING LAUNDRY ROOM, FITNESS AREA SHALL BE EQUIPPED WITH ONE ACCESSIBLE WINDOW
 ELECTRIC ACCESSIBLE WINDOWS ON FLOOR PLANS AND ELEVATIONS (ADD 10%)
 TYPE "D" UNITS ARE NOT 1.

PER CBC CHAPTER 16-11-108.13.1 AND ICC/ANSI A117.1-2003 CHAPTER 508 MUST PROVIDE FOR TYPE "A" UNITS:
 1- ACCESSIBLE ROUTE TO ACCESSIBLE WINDOWS.
 2- CONTROLS AND OPERATING MECHANISMS 15"-48"
 3- FIVE POUND FORCE MAXIMUM TO OPERATE EXCEPTION, WINDOWS IN BATHROOMS OR KITCHENS
 OR CORRIDORS ARE NOT SUBJECT TO THESE REQUIREMENT

NO.	DESCRIPTION	QTY	UNIT	PRICE	TOTAL	PERCENT	AMOUNT
1	WHITE GREY FACE BRICK 8" BLOCK 4" PARAPET						
2	LACROSE PANEL 8" CMU (BLOCK) 4" INT. WALL						
3	LACROSE PANEL 8" CMU (BLOCK) 4" INT. WALL						
4	WOOD TONE 8" BLOCK 1 1/2" INT. WALL COPY						
5	WOOD TONE 8" BLOCK 1 1/2" INT. WALL COPY						
6	WOOD TONE 8" BLOCK 1 1/2" INT. WALL COPY						
7	WOOD TONE 8" BLOCK 1 1/2" INT. WALL COPY						
8	WOOD TONE 8" BLOCK 1 1/2" INT. WALL COPY						
9	WOOD TONE 8" BLOCK 1 1/2" INT. WALL COPY						
10	WOOD TONE 8" BLOCK 1 1/2" INT. WALL COPY						

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 PROJECT: 3352 WEST FOSTER AVE CHICAGO, IL 60625
FRONT ELEVATION
 DATE: _____

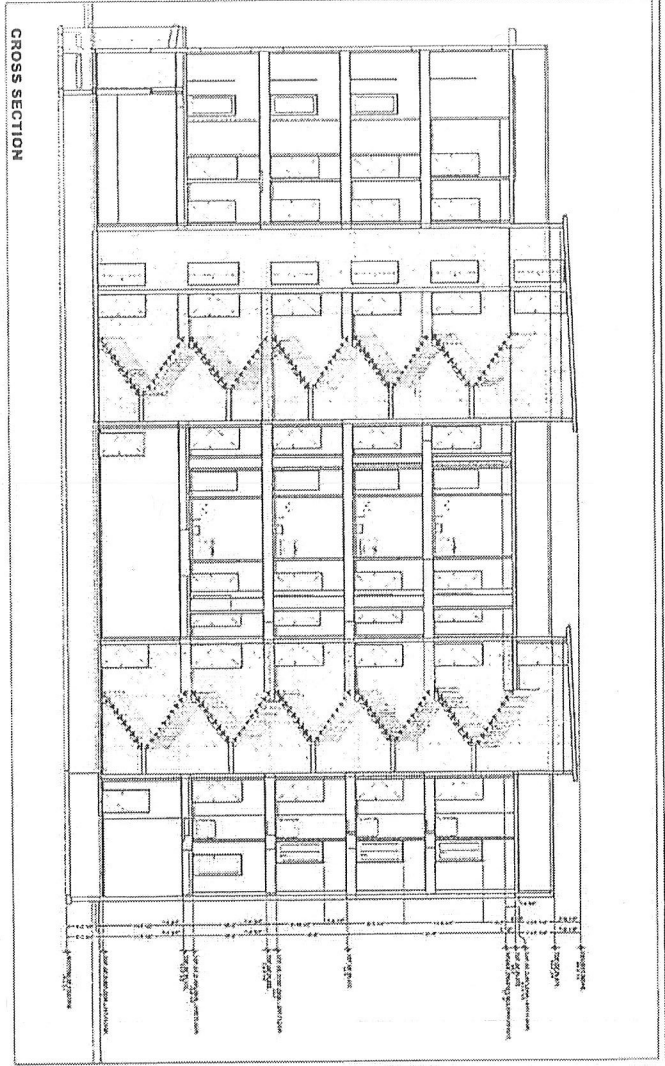
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 MAIL@MIDARWISHARCH.COM

02-03-2023-01
 PREPARED BY: _____
 CHECKED BY: _____



ISSUED FOR REVISED PERMIT & CONSTRUCTION

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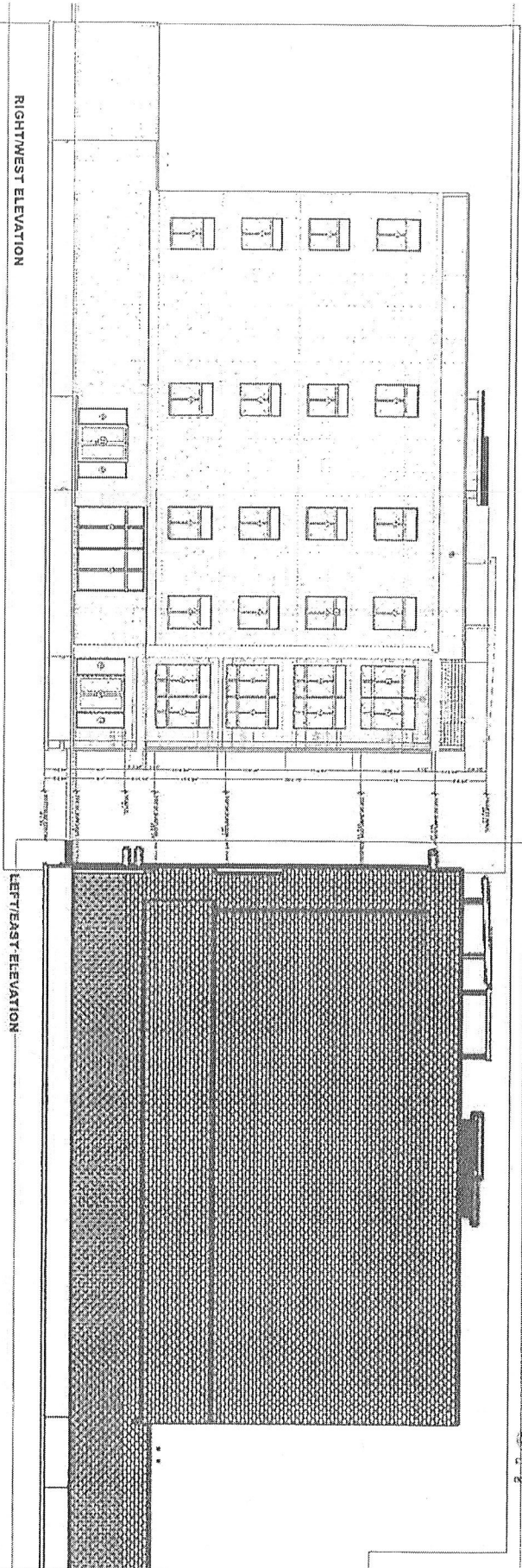
CROSS SECTION



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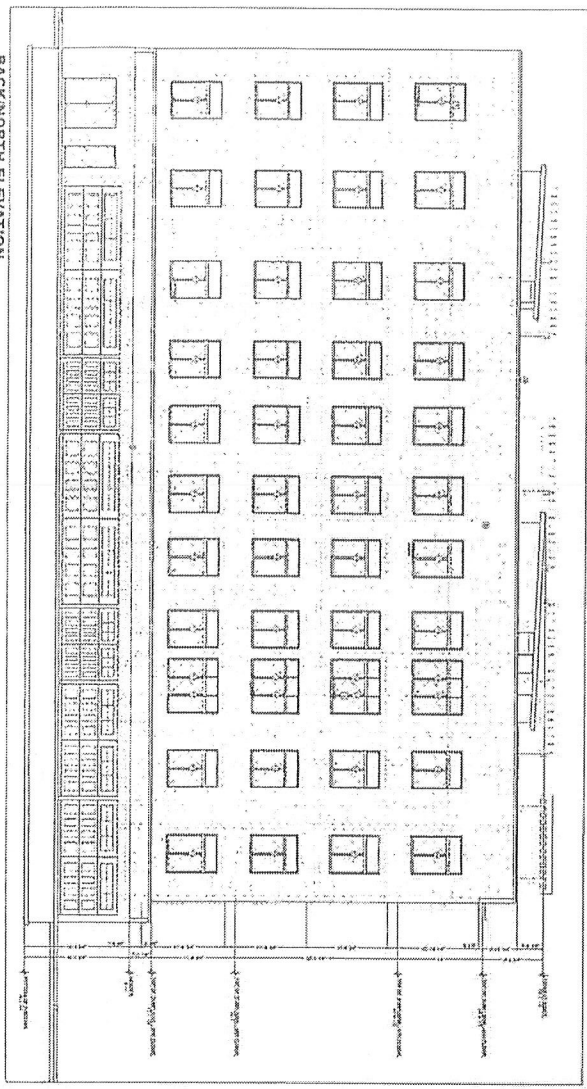
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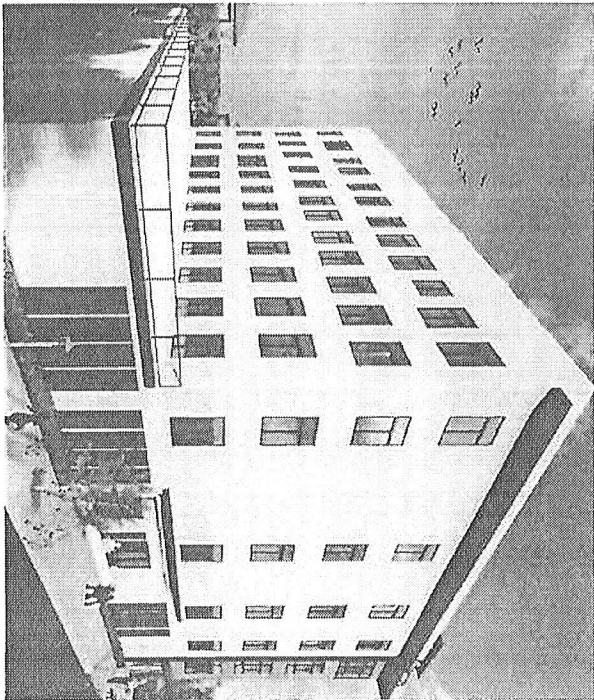
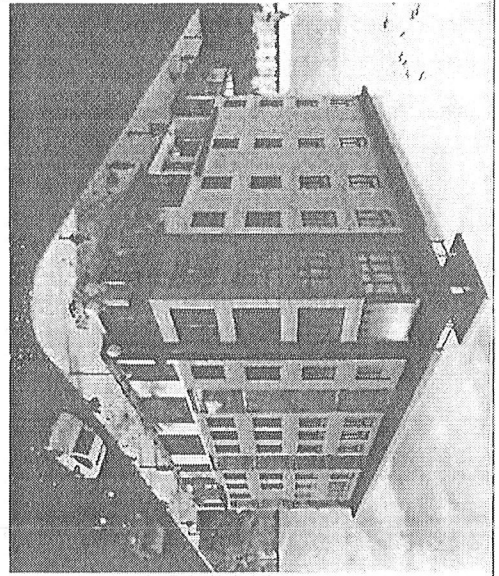
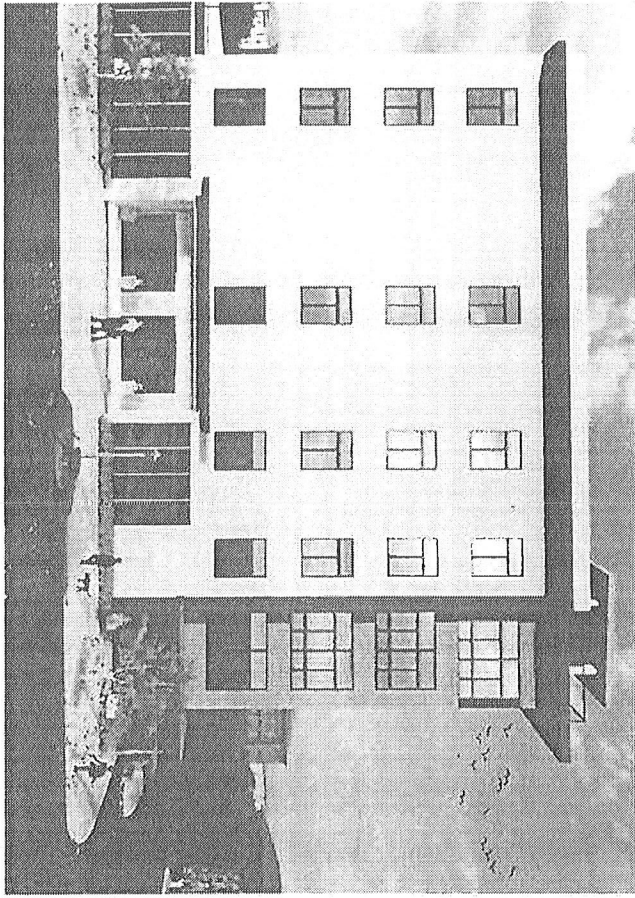
RIGHTWEST ELEVATION

LEFT/EAST ELEVATION



BACKNORTH ELEVATION

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 ARCHITECT
 MAJID DARWISH
 01-05-2023-0

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