

SUBSTITUTE NARRATIVE AND PLANS

TYPE I Rezoning

2127 South Marshall Boulevard / 2866-80 West 21st Place

From B2-5 to B2-5

The Property

The subject property is a corner lot, located in a B2-5 Neighborhood Mixed-Use District and is located in an Equitable Transit Served Location per the Chicago Zoning Ordinance section and is approximately 810.0' from the CTA California Pink Line Station entrance.

The property contains one zoning lot with a front two-story building with basement (28'-8" tall) containing six units and a rear two-story building with basement (28'-8" tall) containing two units.

The Project

2127 S. Marshall LLC (the "Applicant") seeks to convert the front building from six units to 12 units. Three new units will be located in the basement and three new units in a proposed third floor addition. The Applicant also seeks to convert the rear building from two units to four units. One new unit will be located in the basement and one new unit in a proposed third floor addition. The property will include a total of 16 units. The proposed zoning height of the front building will be 36'-3" and the rear building will be 37'-8". Six bicycle parking spaces will be provided. There will be no vehicle automobile parking.

The rezoning application also seeks Type-1 application relief under section 17-13-0303-D through an optional administrative adjustment to reduce eight required parking spaces to under section 17-13-1003-EE for properties located in an Equitable Transit Served Location per the Chicago Zoning Ordinance and an optional variation under section 17-13-1101-B to reduce the required front yard setback from 50.0' to 0.0' (existing), a combined side setback reduction of 5.16' to 0.0' (existing) (the north and south side setbacks are and will remain at 0.0'), and a reduction of the rear setback from 30.0' on floors containing dwelling units to 0.0' (existing).

To allow the proposed project, the Applicant seeks a change in zoning classification for the subject property from an B2-5 Neighborhood Mixed-Use District to a B2-5 Neighborhood Mixed-Use District.

The following are the relevant zoning parameters for the proposed project:

| | |
|-----------------------------|--|
| Lot Area: | 4,495.65 square feet |
| FAR: | 5.0 |
| Floor Area: | Front building: 8,730.63 square feet Rear building: 3,621.06 square feet |
| Residential Dwelling Units: | 16 total Front building: 12 units Rear building: 4 units |
| MLA Density: | 280.97 square feet |
| Height (existing): | Front building: 36'-3" Rear building: 37'-8" |
| Bicycle Parking: | 6 |
| Automobile Parking: | 0* |
| Setbacks (existing): | Front (Marshall): 0.00'* North (alley/rear): 0.00'* South: 0.00'* East (rear): 0.00'* |

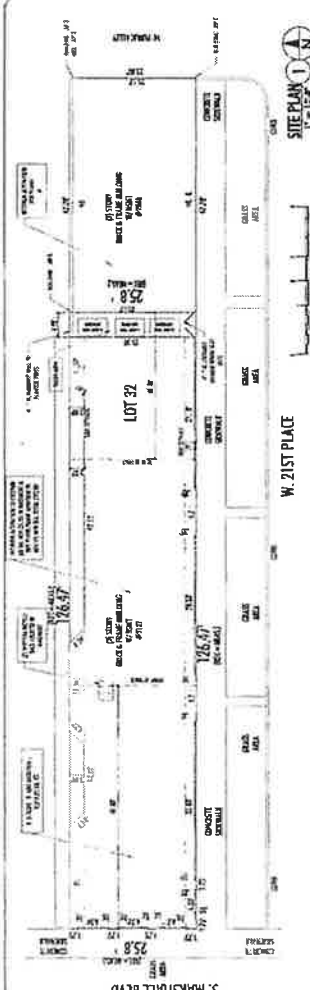
A set of plans is attached which includes ETOD measurements.

* The property sits in a Transit Served Location per the Equitable Transit-Oriented Provisions of the Chicago Zoning Ordinance and is approximately 810.0' from the CTA California Pink Line Station entrance.

S R 2019 CBC: INT. RENO. TO EXIST. (6)DU TO BSMT., 3RD FLR. FRAME ADDITION TO ADD (3) DU ON 2-STORY FRONT BRICK BLDG; TOTAL (12) DU, NEW TRASH ENCLOSURE 2127 S. MARSHALL BLVD, CHICAGO, IL 60623

DETAILED SCHEDULE

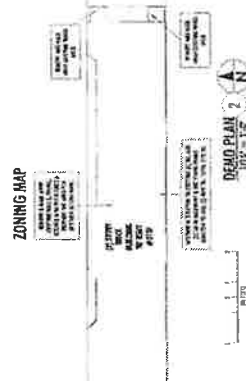
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| 2 | FOUNDATION | 1 | SQ. YD. | 15.00 | 15.00 | |
| 3 | CONCRETE | 1 | SQ. YD. | 12.00 | 12.00 | |
| 4 | BRICK | 1 | SQ. YD. | 18.00 | 18.00 | |
| 5 | ROOFING | 1 | SQ. YD. | 20.00 | 20.00 | |
| 6 | MECHANICAL | 1 | SQ. YD. | 25.00 | 25.00 | |
| 7 | ELECTRICAL | 1 | SQ. YD. | 30.00 | 30.00 | |
| 8 | PLUMBING | 1 | SQ. YD. | 35.00 | 35.00 | |
| 9 | PAINT | 1 | SQ. YD. | 40.00 | 40.00 | |
| 10 | FINISH | 1 | SQ. YD. | 45.00 | 45.00 | |
| 11 | LANDSCAPE | 1 | SQ. YD. | 50.00 | 50.00 | |
| 12 | TRASH ENCLOSURE | 1 | SQ. YD. | 55.00 | 55.00 | |
| 13 | LABOR | 1 | SQ. YD. | 60.00 | 60.00 | |
| 14 | PERMITS | 1 | SQ. YD. | 65.00 | 65.00 | |
| 15 | INSURANCE | 1 | SQ. YD. | 70.00 | 70.00 | |
| 16 | CONTINGENCY | 1 | SQ. YD. | 75.00 | 75.00 | |
| 17 | TOTAL | | | | 720.00 | |



FRONT VIEW



AERIAL MAP



ZONING MAP



DEAD-END MAP

DISCLAIMER
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF CHICAGO AND THE DEPARTMENT OF PLANNING AND DEVELOPMENT. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE ADJACENT PROPERTY OWNERS AND THE CITY OF CHICAGO. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF CHICAGO AND THE DEPARTMENT OF PLANNING AND DEVELOPMENT. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE ADJACENT PROPERTY OWNERS AND THE CITY OF CHICAGO.

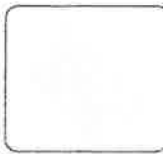
NOTES
 1. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF CHICAGO CODES AND ORDINANCES.
 2. ALL MATERIALS SHALL BE OF THE HIGHEST QUALITY.
 3. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
 4. ALL WORK SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE CITY OF CHICAGO.

STEERING COMMITTEE INFORMATION

| NAME | ADDRESS | PHONE | EMAIL |
|-------------|-------------------|--------------|-----------------------|
| John Smith | 1234 N. State St. | 312.555.1234 | john.smith@email.com |
| Jane Doe | 5678 S. State St. | 312.555.5678 | jane.doe@email.com |
| Bob Johnson | 9010 W. State St. | 312.555.9010 | bob.johnson@email.com |
| Alice Brown | 3456 E. State St. | 312.555.3456 | alice.brown@email.com |

CONTACT INFORMATION
 PROJECT MANAGER: JOHN SMITH
 PHONE: 312.555.1234
 EMAIL: john.smith@project.com
 WEBSITE: www.project.com

PROJECT LOCATION
 2127 S. MARSHALL BLVD, CHICAGO, IL 60623



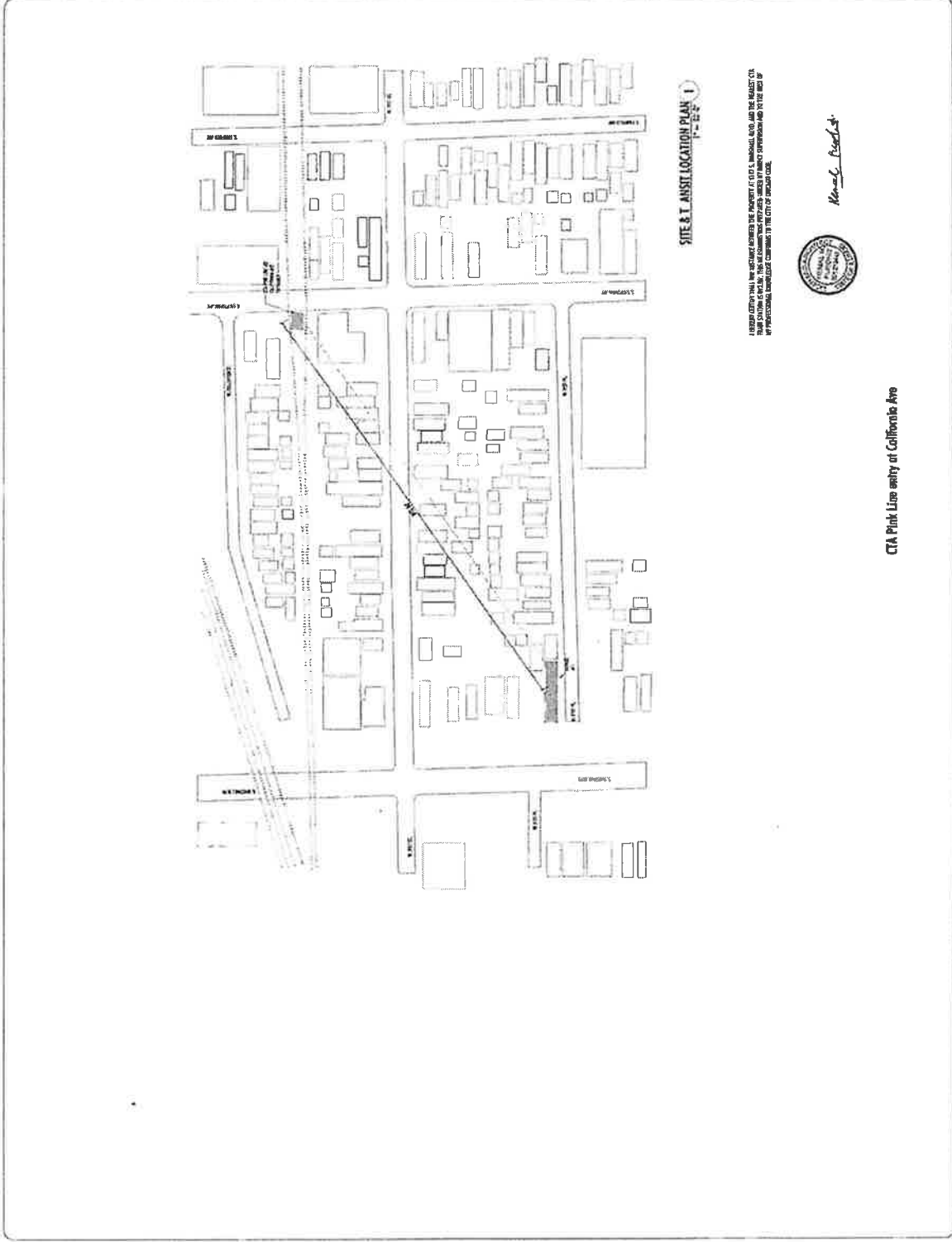
LCR 156.007954

RESIDENTIAL - MIXED
 1000 S. CALIFORNIA AVE
 CHICAGO, IL 60607
 PHONE // 773.441.9713
 FAX // 773.441.9713



DATE: 10/15/14
 TIME: 10:00 AM
 PROJECT: 156.007954
 SHEET: A-05

| | |
|-------------|------------|
| Project No. | 156.007954 |
| Client | CTA |
| Scale | 1" = 100' |
| Sheet No. | A-05 |
| Drawn By | |
| Checked By | |
| Approved By | |



SITE & TRANSIT LOCATION PLAN
 1" = 100'

A REPRESENTATIVE OF THE ARCHITECT HAS BEEN THE PROPERTY OF THE CITY OF CHICAGO, ILLINOIS, AND THE ARCHITECT HAS BEEN ADVISED THAT THE CITY OF CHICAGO, ILLINOIS, HAS THE RIGHT TO REPRODUCE AND TO USE THE ARCHITECT'S WORK IN ANY MANNER WITHOUT LIABILITY TO THE ARCHITECT.



Ronald R. Smith

CTA Pink Line unity of California Ave

LCR 184.0079B4

ARCHITECTURAL FIRM
444 N. LAUREL ST.
CHICAGO, IL 60610
TEL: 312.427.1234
WWW.AAAS-ARCHITECTS.COM

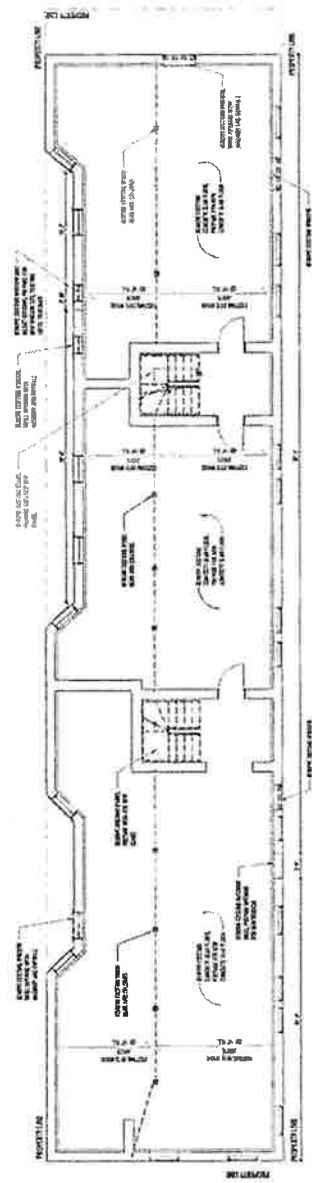
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- EXISTING WALL
- EXISTING DOOR
- EXISTING WINDOW
- EXISTING PARTITION

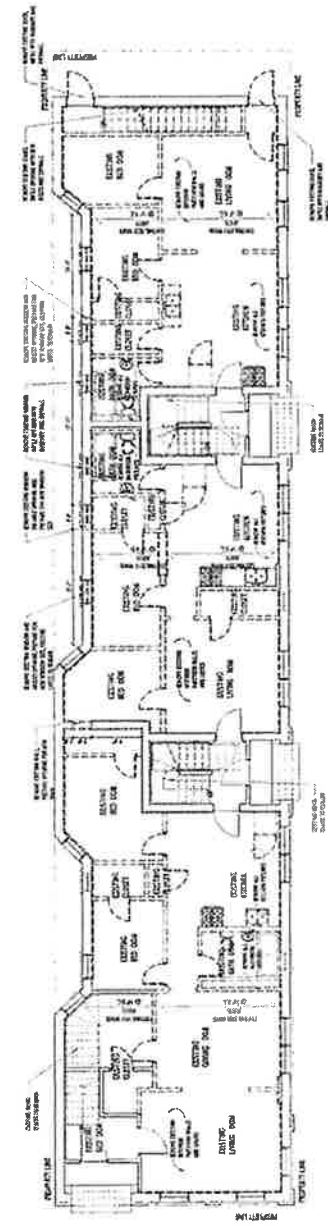
SEE THE PLAN TO BE SUBMITTED TO THE CITY OF CHICAGO FOR REVIEW AND APPROVAL. THIS PLAN IS SUBJECT TO THE CITY OF CHICAGO'S ZONING ORDINANCES AND ANY OTHER APPLICABLE ORDINANCES. THE CITY OF CHICAGO'S ZONING ORDINANCES ARE AVAILABLE AT: WWW.CITYOFCHICAGO.IL.GOV

| PROJECT | |
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| NO. | 184.0079B4 |
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| DRAWING NO. | |
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| SCALE | |
| SHEET NO. | |
| TOTAL SHEETS | |
| DATE PLOTTED | |
| DRAWN BY | |
| CHECKED BY | |
| APPROVED BY | |

A-1.0



EXISTING BASEMENT PLAN 11/11/18



EXISTING BASEMENT PLAN 11/11/18

PROJECT NO. 104.007954

ARCHITECTS • ENGINEERS
 1100 N. LAKE STREET
 CHICAGO, IL 60610
 PHONE // 312.467.1200
 FAX // 312.467.1204

LEGEND

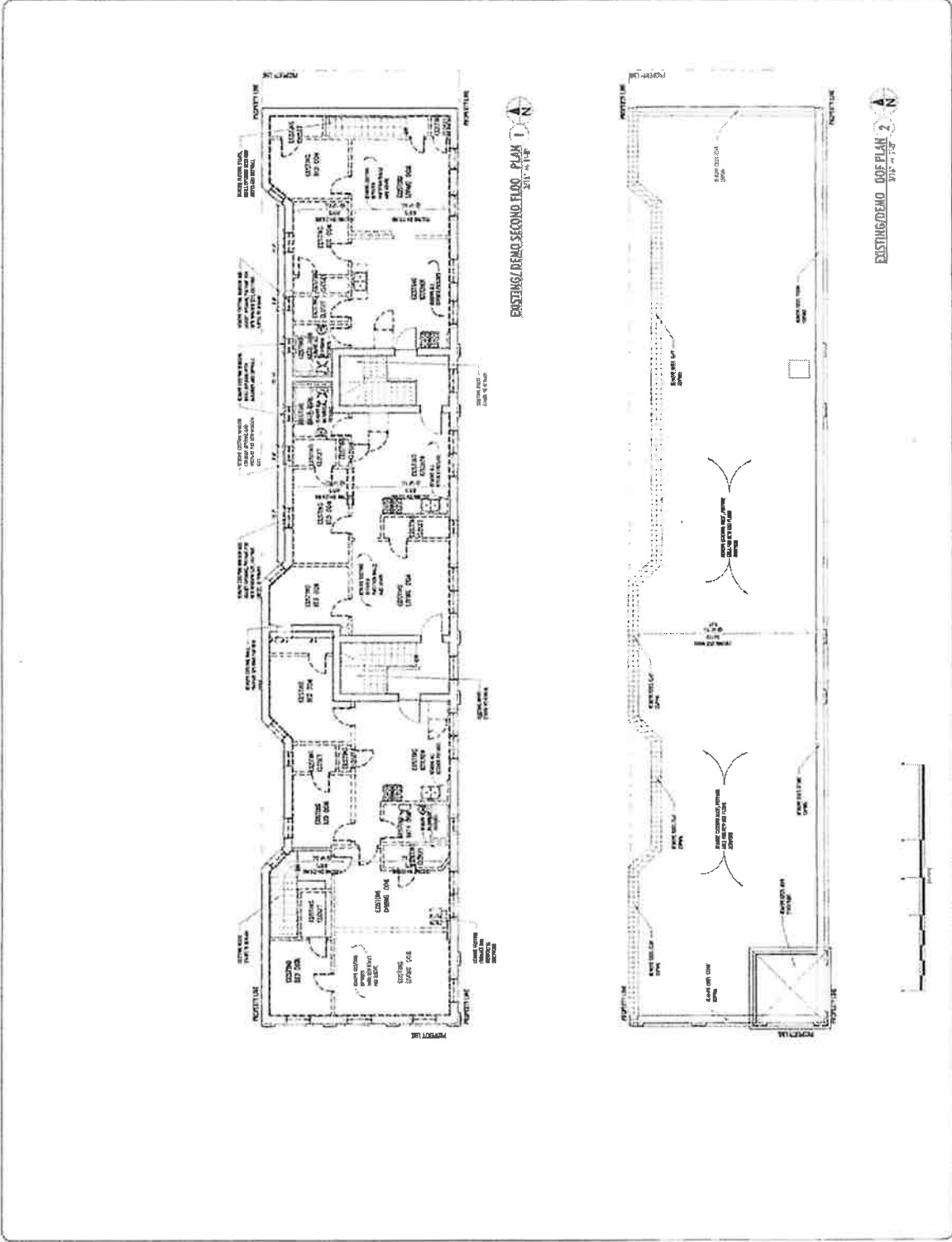
- EXISTING
- DEMOLITION
- NEW
- ALTERATION
- PROPOSED

PER TITLE BLOCK, REFER TO THE
 DRAWINGS FOR THE LOCATION OF
 THE PROJECT. THE PROJECT IS
 LOCATED AT THE INTERSECTION OF
 217 S. MARSHALL STREET, CHICAGO, IL
 60604

Project No. 11 001
 217 S. MARSHALL ST.

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REVISIONS
 100% & SHOP PLANS
A-1.1





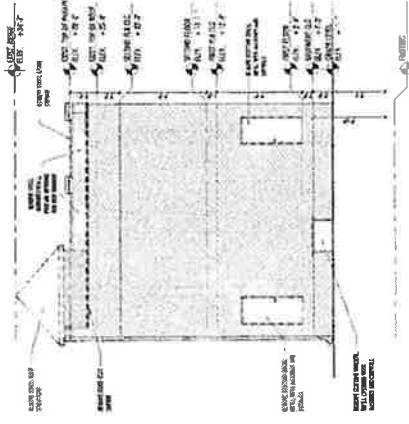
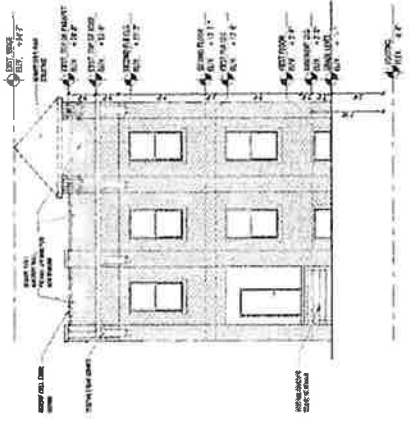
1000 N. LAUREL AVENUE
CHICAGO, ILLINOIS 60610
TEL: 312.329.7000
WWW.APKINS.COM

LEGEND

--- EXISTING
--- NEW

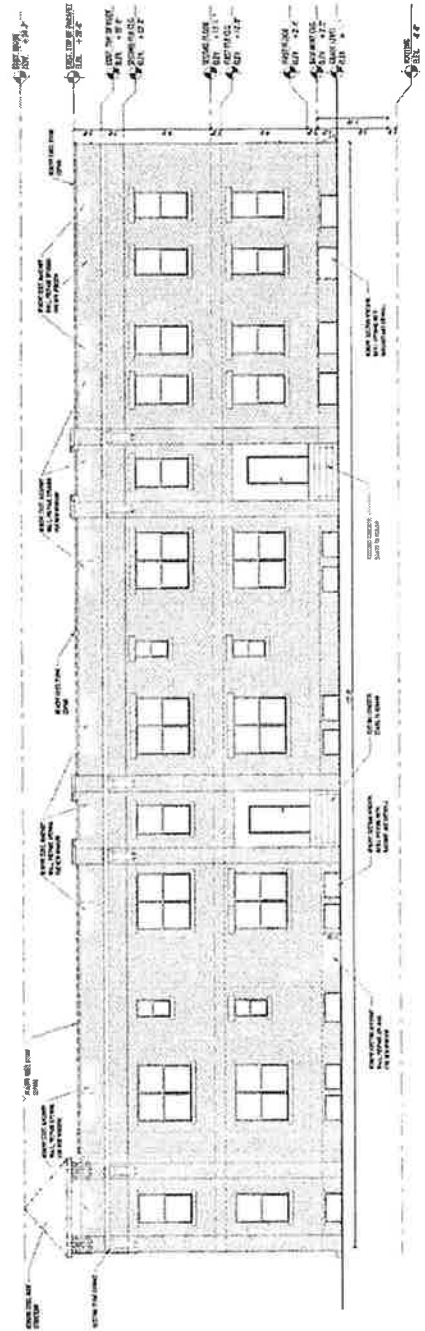
VERY IMPORTANT TO THE CLIENT
THAT THE ARCHITECTURAL FIRM
STOP WORK IMMEDIATELY IF THE
CLIENT REQUESTS ANY CHANGES
TO THE CONTRACT DOCUMENTS.
THE ARCHITECT ASSUMES NO
RESPONSIBILITY FOR THE
CONSTRUCTION OF THE PROJECT.

| | |
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| Client | 1000 N. LAUREL AVENUE |
| Scale | 1/8" = 1'-0" |
| Date | 10/10/10 |
| Sheet | 1000-1000 |
| Author | APKINS |
| Checker | APKINS |
| Project Manager | APKINS |
| Architect | APKINS |
| Engineer | APKINS |
| Contractor | APKINS |
| City | CHICAGO, ILLINOIS |
| State | ILLINOIS |
| Country | UNITED STATES OF AMERICA |
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| Project State | ILLINOIS |
| Project Country | UNITED STATES OF AMERICA |
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| Scale | 1/8" = 1'-0" |
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| Sheet | 1000-1000 |
| Author | APKINS |
| Checker | APKINS |
| Project Manager | APKINS |
| Architect | APKINS |
| Engineer | APKINS |
| Contractor | APKINS |
| City | CHICAGO, ILLINOIS |
| State | ILLINOIS |
| Country | UNITED STATES OF AMERICA |
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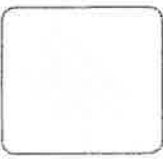
EXISTING WEST ELEVATION
1/8" = 1'-0"

EXISTING EAST ELEVATION
1/8" = 1'-0"



EXISTING SOUTH ELEVATION
1/8" = 1'-0"





LICP 18A.007986

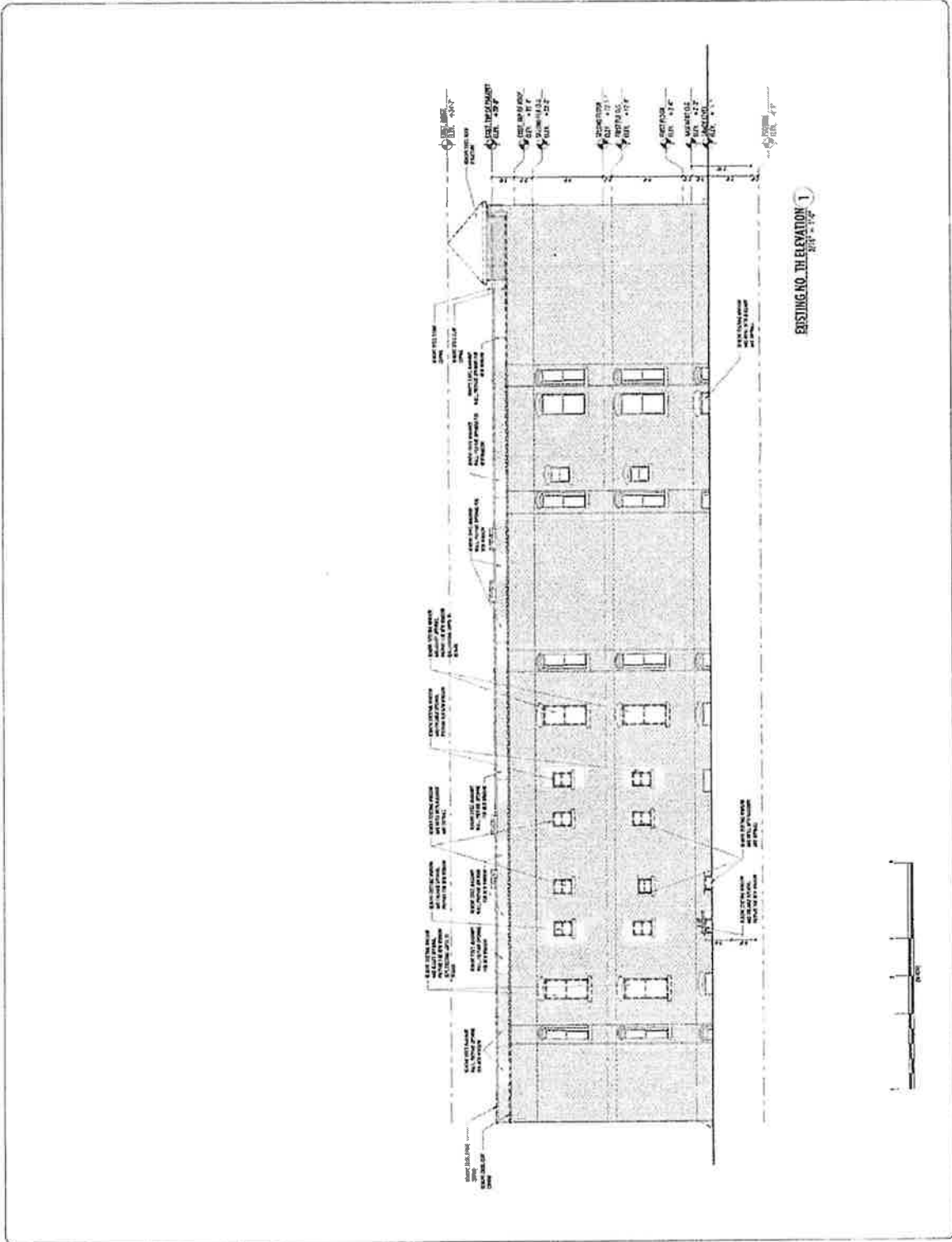
ARCHITECTURE - INTERIOR
440 N. LAURELWAY
CHICAGO, ILLINOIS
PHONE: 312.467.1000
FAX: 312.467.1001

LEGEND

WALL TYPE
 WALL
 PARTITION

THIS DRAWING IS THE PROPERTY OF THE ARCHITECT AND IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM.

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| 99 | 02/01/11 | 100 | 02/01/11 |



EXISTING NO. THE ELEVATION
REV. 11/18/10



LIC# 106.007984



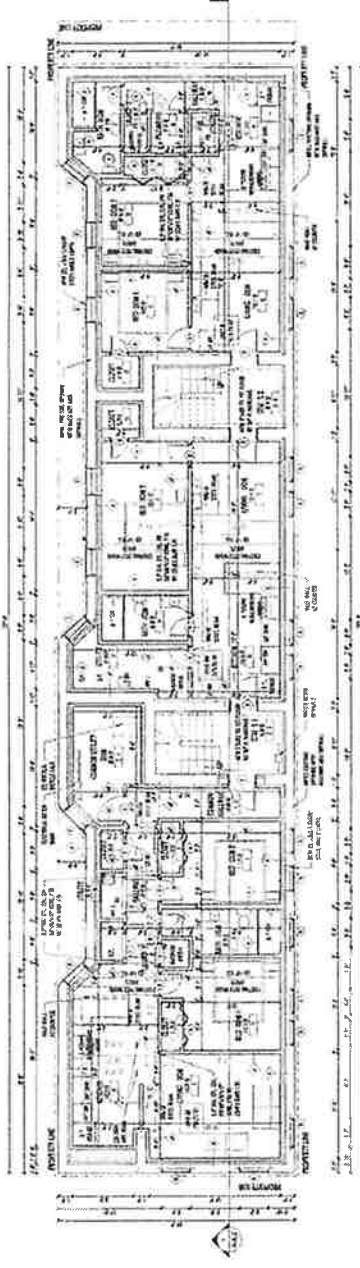
CONSULTANTS - ENGINEERS
 1100 N. LAKE STREET
 CHICAGO, IL 60610
 PHONE // 773.234.0763
 FAX // 773.234.0764
 CELL // 773.741.8455

LEGEND

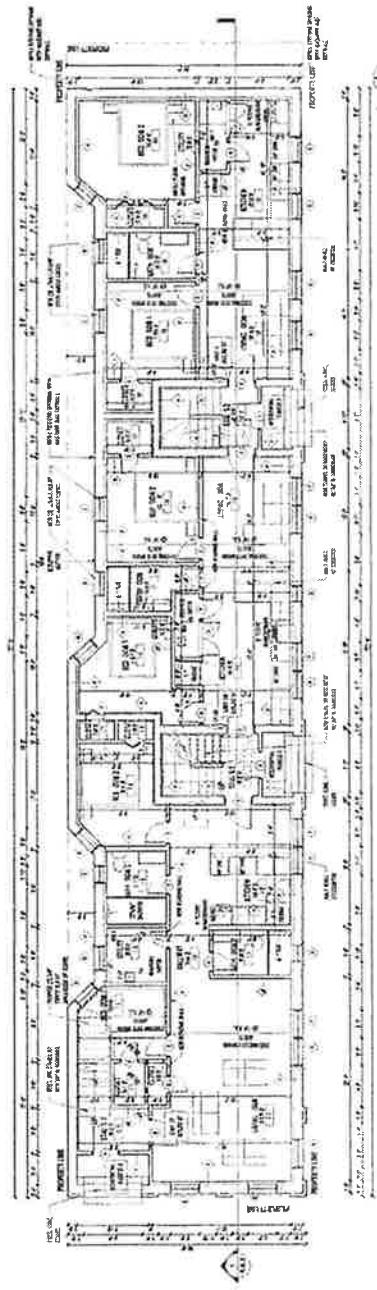
- 1. WALL
- 2. WINDOW
- 3. DOOR
- 4. PARTITION
- 5. CEILING
- 6. FLOOR
- 7. ROOF
- 8. FINISH
- 9. MECHANICAL
- 10. ELECTRICAL
- 11. PIPING
- 12. STAIR
- 13. ELEVATOR
- 14. RAMP
- 15. CURB
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THIS PLAN, AND THE DESIGN THEREON, IS THE PROPERTY OF THE ENGINEER AND ARCHITECT. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. ANY REUSE OR MODIFICATION OF THIS PLAN WITHOUT THE WRITTEN CONSENT OF THE ENGINEER AND ARCHITECT IS STRICTLY PROHIBITED.

| | |
|--------------|-------------------|
| Project No. | 11 001 |
| Client Name | 707 S.M. BUILDING |
| Address | |
| City | |
| State | |
| Year | |
| Scale | |
| Sheet No. | A-30 |
| Total Sheets | |




P. PROPOSED BASEMENT PLAN
 210' x 110' N



P. PROPOSED 1ST FLOOR PLAN
 210' x 110' N



PROJECT NO. 154-007084



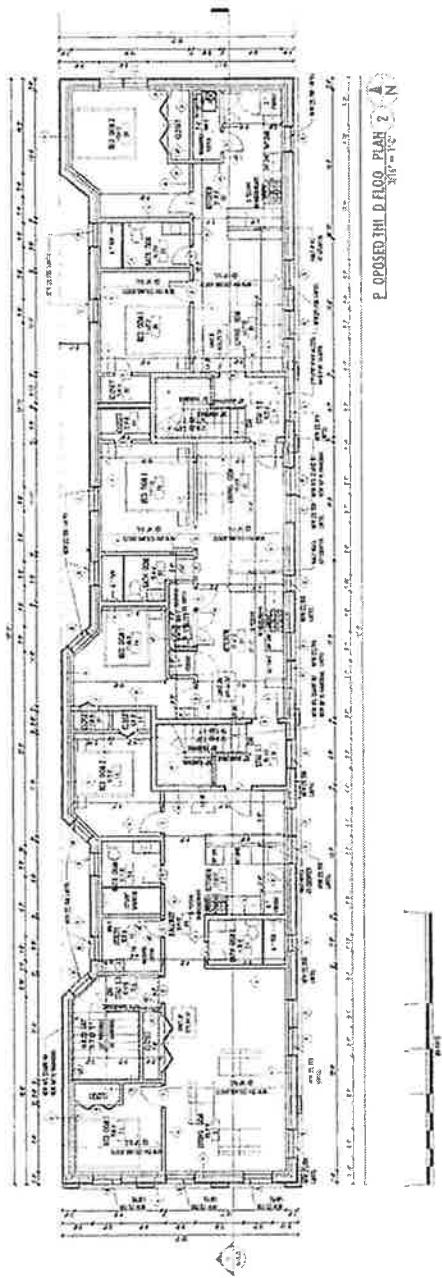
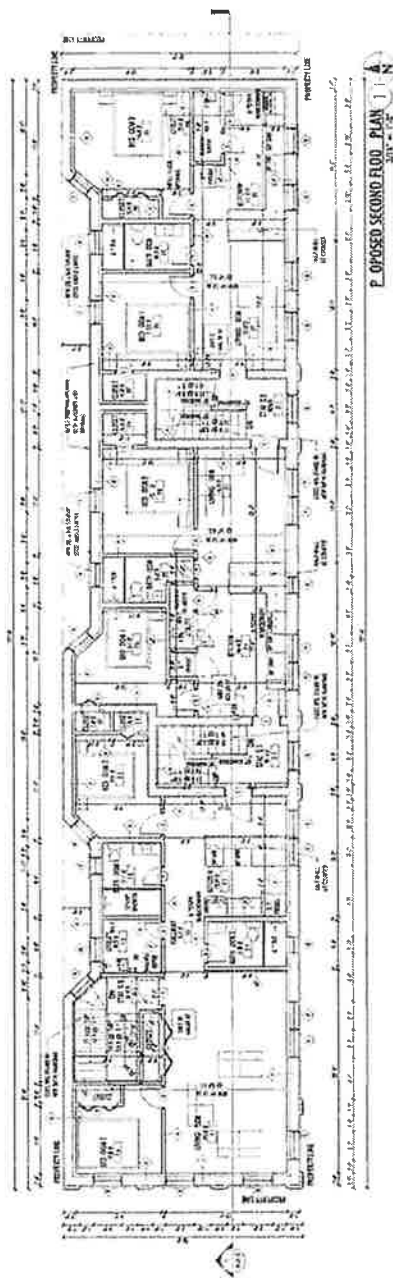
ARCHITECTURAL & ENGINEERING
 600 W. EIGHTH AVE
 CAMBRIDGE, MA 02142
 TEL: 617-552-3100
 FAX: 617-552-3101

LEGEND

- CONC. FLOOR
- CONC. SLAB
- CONC. WALL
- CONC. COLUMN
- CONC. BEAM
- CONC. GIRDER
- CONC. JOIST
- CONC. STAIR
- CONC. ELEVATOR
- CONC. MECHANICAL
- CONC. PLUMBING
- CONC. ELECTRICAL
- CONC. MECHANICAL
- CONC. PLUMBING
- CONC. ELECTRICAL
- CONC. MECHANICAL
- CONC. PLUMBING
- CONC. ELECTRICAL

NOT TO SCALE
 THIS PLAN IS A SUMMARY OF THE PROPOSED WORK AND IS NOT TO BE USED FOR CONSTRUCTION. THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AND CONDITIONS SHALL BE AS SHOWN ON THE CONTRACT DOCUMENTS.

PROJECT NO. 154-007084
 SHEET NO. A-31
 OF 31



ICG 144.007934

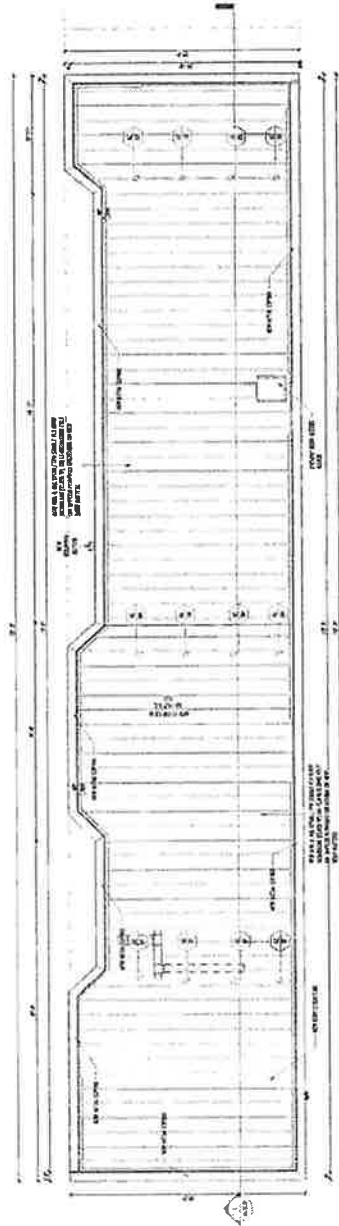
SECRETARIAT & REGION
 BUILDING DEPARTMENT
 405 BROADWAY
 PHOENIX, AZ 85001
 CALL 772.344.5753
 FAX 772.344.5654

LEGEND

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- 1-200

NET AREA: 10,000 SQ FT
 GROSS AREA: 12,000 SQ FT
 TOTAL FLOOR AREA: 14,000 SQ FT
 TOTAL VOLUME: 140,000 CU FT

| Project No. | 1-1 |
|---------------|------|
| NO. OF SHEETS | 11 |
| TOTAL SHEETS | 11 |
| SHEET NO. | A-32 |



P. PROPOSED ONE PLAN





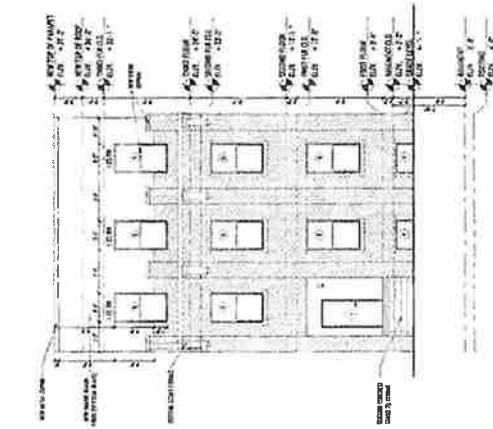
URS | ARCHITECTURE
 ARCHITECTS - DESIGN
 200 N. LA SALLE ST.
 CHICAGO, IL 60601
 PHONE // 312.427.4000
 FAX // 312.427.4001
 WWW.URSARCHITECTS.COM

LEGEND
 [Symbol] EXISTING
 [Symbol] NEW
 [Symbol] TO BE DEMOLISHED

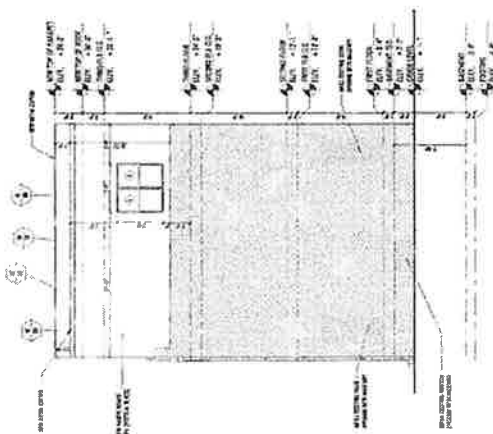


PER THE CITY OF CHICAGO, THE ARCHITECT HAS REVIEWED THIS SET OF PLANS FOR CONFORMANCE WITH THE CHICAGO BUILDING CODE AND THE CHICAGO PLANNING COMMISSION ORDINANCES. THE CITY OF CHICAGO DOES NOT GUARANTEE THE ACCURACY OF THE INFORMATION PROVIDED HEREON.

| | |
|---------------------|-------------------|
| Project No. | 11-082 |
| 207 S. W. STATE ST. | |
| CHICAGO, ILL. | |
| DATE | 08/11/11 |
| BY | J. J. [Signature] |
| CHECKED BY | [Signature] |
| APPROVED BY | [Signature] |
| SCALE | AS SHOWN |
| PROJECT NO. | A-10 |
| DATE | 08/11/11 |
| BY | [Signature] |
| CHECKED BY | [Signature] |
| APPROVED BY | [Signature] |



P. PROPOSED WEST ELEVATION
 3/16" = 1'-0"



P. PROPOSED EAST ELEVATION
 3/16" = 1'-0"

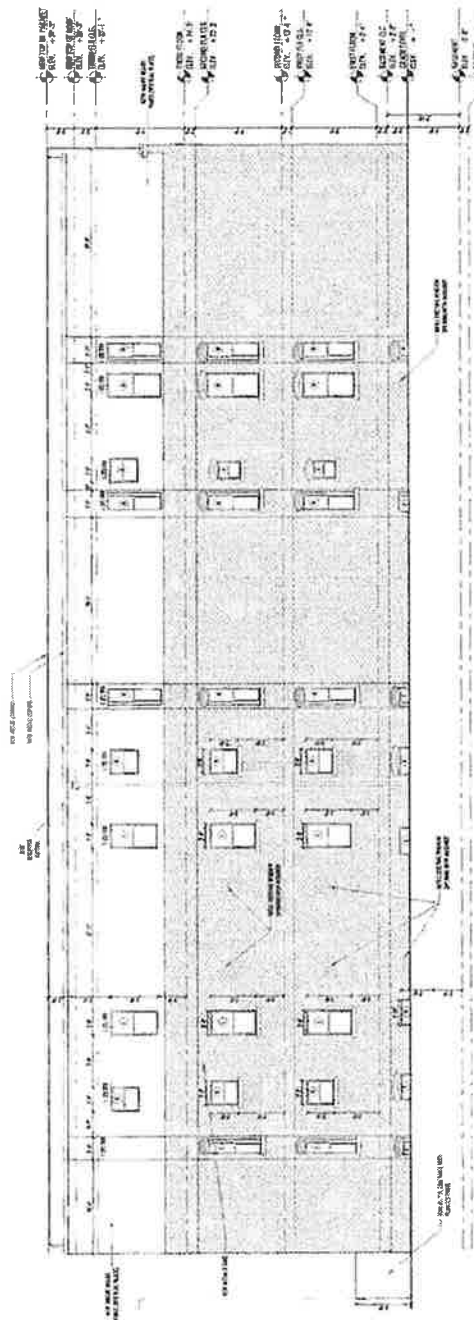


LIC# 184.007984

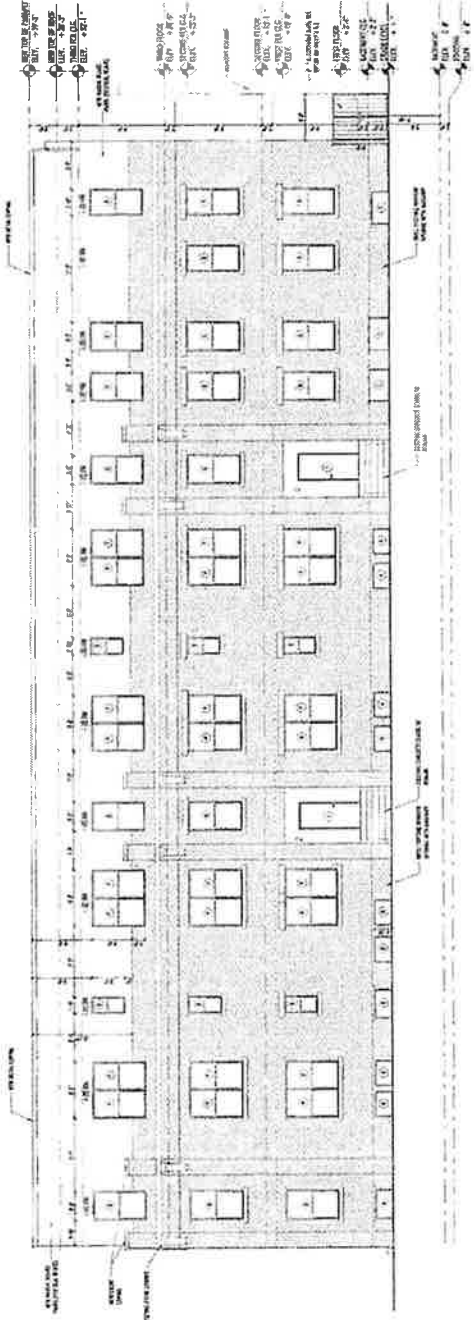
ARCHITECT: J. J. BOGGS
 PROJECT: 1700 W. MADISON ST.
 CHICAGO, ILLINOIS
 DATE: 11/17/2010

THIS DRAWING IS THE PROPERTY OF J. J. BOGGS ARCHITECTS, P.C. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF J. J. BOGGS ARCHITECTS, P.C.

| | |
|-------------|-----------------------------------|
| Project No. | 1700 W. MADISON |
| Client | THE UNIVERSITY OF CHICAGO |
| Architect | J. J. BOGGS ARCHITECTS, P.C. |
| Scale | 3/16" = 1'-0" |
| Sheet No. | A-4.1 |
| Sheet Title | PROPOSED NORTH & SOUTH ELEVATIONS |



PROPOSED NORTH ELEVATION
 3/16" = 1'-0"

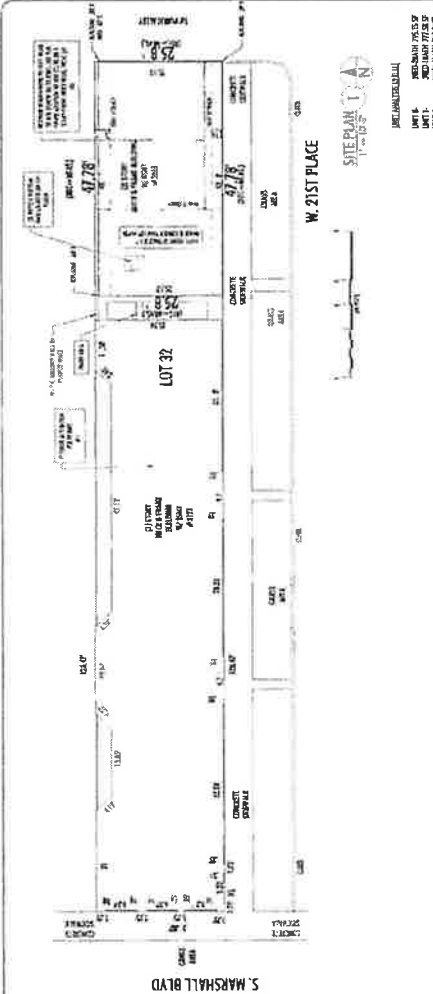


PROPOSED SOUTH ELEVATION
 3/16" = 1'-0"



S R 2019 CBRC: INTERIOR RENOVATIONS TO EXISTING (2)DU; ADD (1)NEW DU TO BSMT; 3RD FLR. FRAME ADDITION TO ADD (1) DU ON 2-STORY FRONT BRICK BLDG; TOTAL (4) DU 2868 W 21ST L, CHICAGO, IL 60623

| NO. | DESCRIPTION | AMOUNT | DATE | BY | REVISIONS |
|-----|--|--------|----------|----|-----------|
| 1 | ADD (1) NEW DU TO BSMT | 1.00 | 11/11/19 | AS | |
| 2 | ADD (1) NEW DU ON 2-STORY FRONT BRICK BLDG | 1.00 | 11/11/19 | AS | |
| 3 | INTERIOR RENOVATIONS TO EXISTING (2) DUs | 2.00 | 11/11/19 | AS | |
| 4 | TOTAL (4) DUs | 4.00 | | | |



GENERAL NOTES

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF CHICAGO ORDINANCES AND DEPARTMENTAL ORDINANCES.

2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF CHICAGO.

3. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.

4. ALL UTILITIES SHALL BE LOCATED AND MARKED PRIOR TO ANY EXCAVATION WORK.

5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES.

6. ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE CITY OF CHICAGO.

7. THE CONTRACTOR SHALL MAINTAIN A NEAT AND SAFE WORK SITE AT ALL TIMES.

8. ALL TRAFFIC SHALL BE MAINTAINED AT ALL TIMES.

9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF CHICAGO.

10. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.

CONTRACT NOTES

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF CHICAGO.

2. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.

3. ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE CITY OF CHICAGO.

4. THE CONTRACTOR SHALL MAINTAIN A NEAT AND SAFE WORK SITE AT ALL TIMES.

5. ALL TRAFFIC SHALL BE MAINTAINED AT ALL TIMES.

6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF CHICAGO.

7. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.

8. ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE CITY OF CHICAGO.

9. THE CONTRACTOR SHALL MAINTAIN A NEAT AND SAFE WORK SITE AT ALL TIMES.

10. ALL TRAFFIC SHALL BE MAINTAINED AT ALL TIMES.



AERIAL MAP



FRONT VIEW

- REMARKS:**
- 1. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF CHICAGO ORDINANCES AND DEPARTMENTAL ORDINANCES.
 - 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF CHICAGO.
 - 3. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
 - 4. ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE CITY OF CHICAGO.
 - 5. THE CONTRACTOR SHALL MAINTAIN A NEAT AND SAFE WORK SITE AT ALL TIMES.
 - 6. ALL TRAFFIC SHALL BE MAINTAINED AT ALL TIMES.

ZONING MAP



DEMO PLAN

LOT 164 00764

1111 N. LEXINGTON ST.
CHICAGO, IL 60610
WWW.LOTSCO.COM

SEAL

Professional Engineer Seal

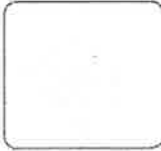
APPROVED FOR THE CITY OF CHICAGO

1111 N. LEXINGTON ST.
CHICAGO, IL 60610

| NO. | REVISION | DATE |
|-----|-------------------|----------|
| 1 | ISSUED FOR PERMIT | 11/11/19 |

A-00

DATE PLAT & GENERAL INFORMATION



UCR 100-037964

ARCHITECTURE • DESIGN
PLANNING • INTERIORS
CHICAGO 3, ILLINOIS
PHOTO: J. ZELINSKY
CALL: 773.745.3434

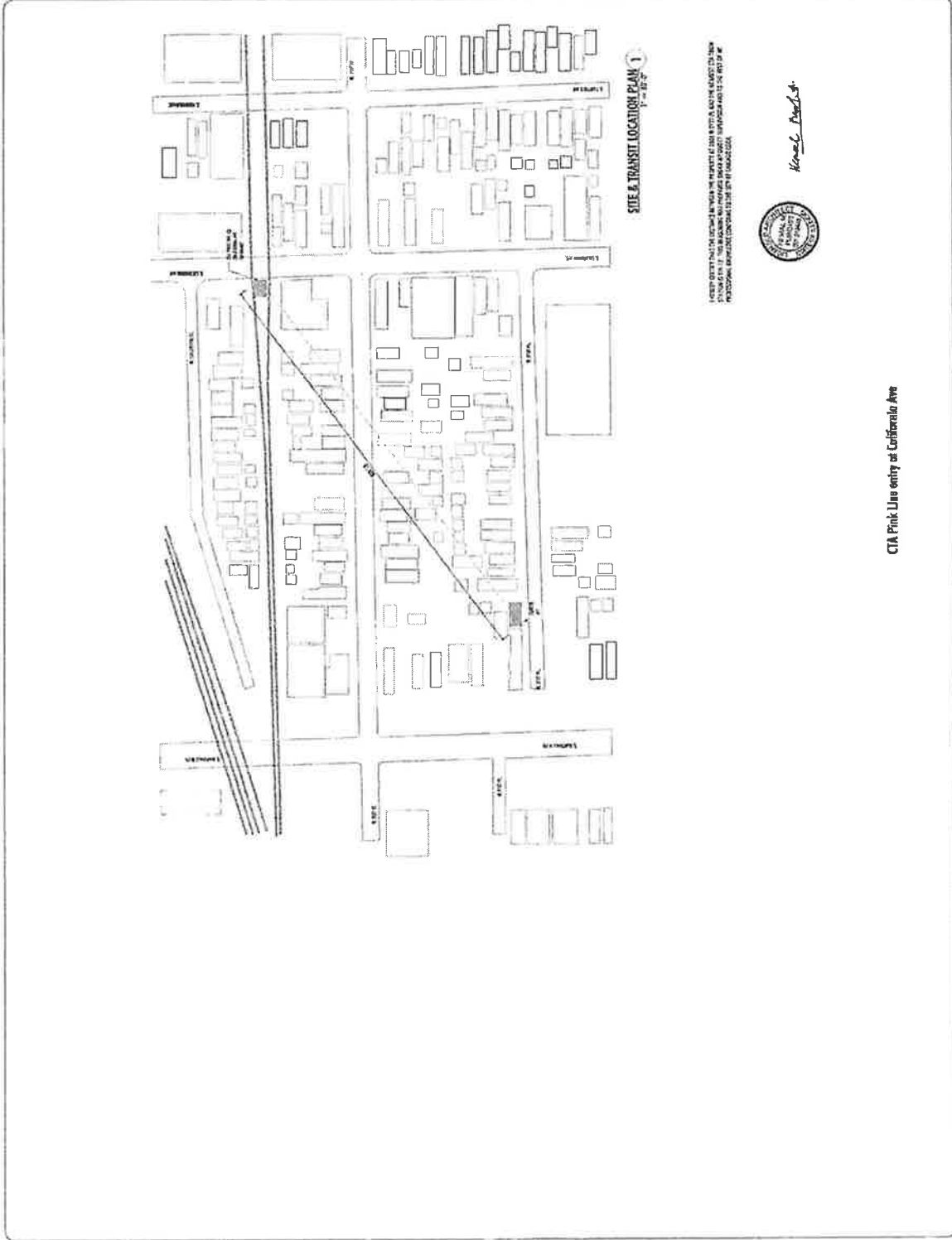


0102 11 0024: INTERIOR EMBELLISHMENT
PROPOSAL (01) AND (02) (REVISED)
0102 11 0024: INTERIOR EMBELLISHMENT
PROPOSAL (01) AND (02) (REVISED)
0102 11 0024: INTERIOR EMBELLISHMENT
PROPOSAL (01) AND (02) (REVISED)

| DATE | REVISION |
|------|----------|
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SITE & TRANSIT MAP

A-04



1. THE SITE IS NOT TO BE USED FOR THE PURPOSES OF THIS PROJECT UNLESS THE OWNER HAS OBTAINED THE NECESSARY PERMITS FROM THE CITY OF CHICAGO AND THE STATE OF ILLINOIS. THE OWNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR THE COST THEREOF.



Steven M. Cook

CTA Pink Line entry at Congress Ave

LIC# 384-007984

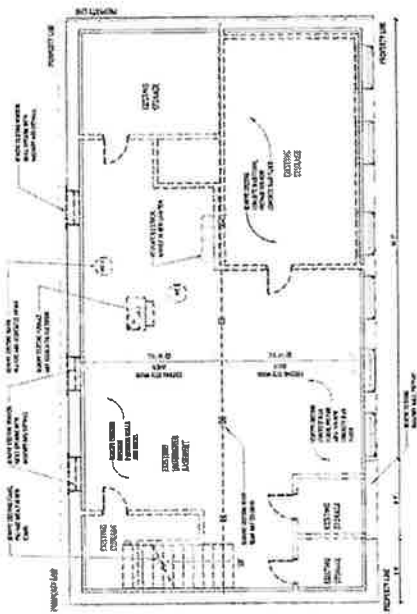
ARCHITECTS - ENGINEERS
JAMES A. ESTERLY A/E/C
2420 N. LINCOLN
CHICAGO, ILLINOIS 60614
TEL: 773-271-5400

LEGEND
EXISTING FLOOR FINISH
NEW FLOOR FINISH
EXISTING PARTITION WALL
NEW PARTITION WALL
EXISTING DOOR
NEW DOOR
EXISTING WINDOW
NEW WINDOW
EXISTING ELEVATOR
NEW ELEVATOR

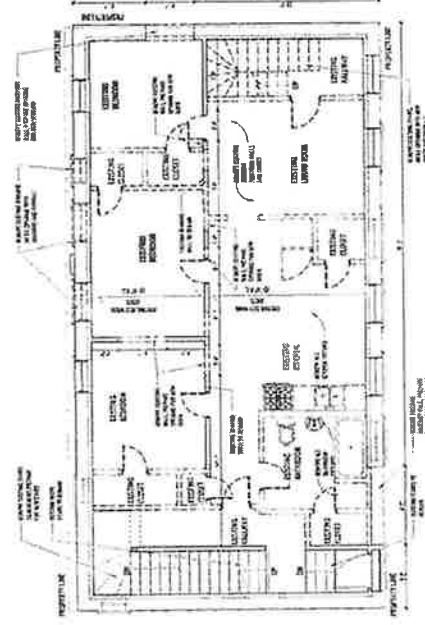


Project No. 2008-0271-1A
Drawing Title: EXISTING DEMO FIRST FLOOR PLAN
Scale: AS SHOWN
Date: 11/20/08
Sheet No. A-10 of 10

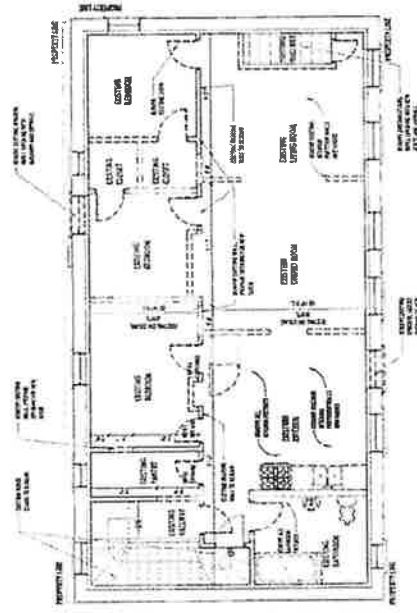
NOTE: THE CLIENT HAS REQUESTED THAT THE EXISTING FLOOR FINISHES BE DEMOLISHED AND THE FLOOR BE REFINISHED WITH A POLISHED CONCRETE FINISH. ALL DEMOLITION WORK SHALL BE ACCORDING TO THE CITY OF CHICAGO CODES AND ORDINANCES.



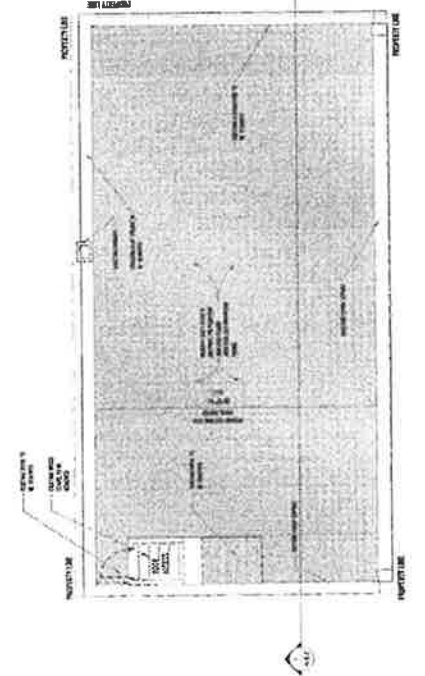
EXISTING/DEMOLITION BASEMENT PLAN



EXISTING DEMO FIRST FLOOR PLAN



EXISTING DEMO SECOND FLOOR PLAN



EXISTING DEMO ROOF PLAN

LIC# 184.00078A

REGISTRATION ADDRESS
CHICAGO, IL 60610
PHONE: 773.233.8279
CIC/1731111111

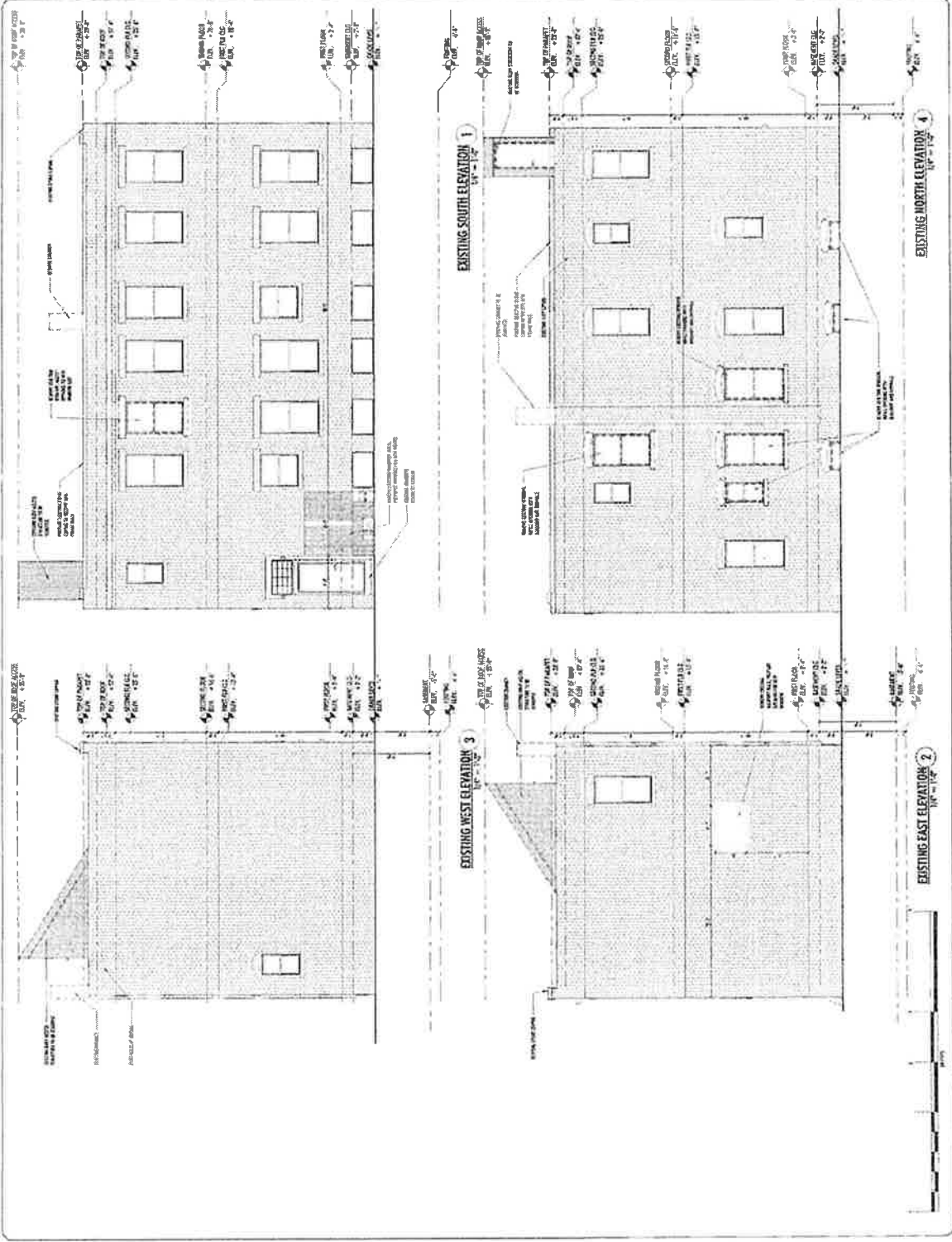
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———— EXISTING
——— PROPOSED

PROJECT NO. 200-12345
JOB NO. 12345
DATE 12/15/2023

A-2.0

EXISTING ELEVATIONS



UCK 184507988

4 ARCHITECTURAL - DRAFTING
4400 N. ELSTON AVE
CHICAGO, ILL. 60630
PHONE // 773-294-9793
FAX // 773-291-6556

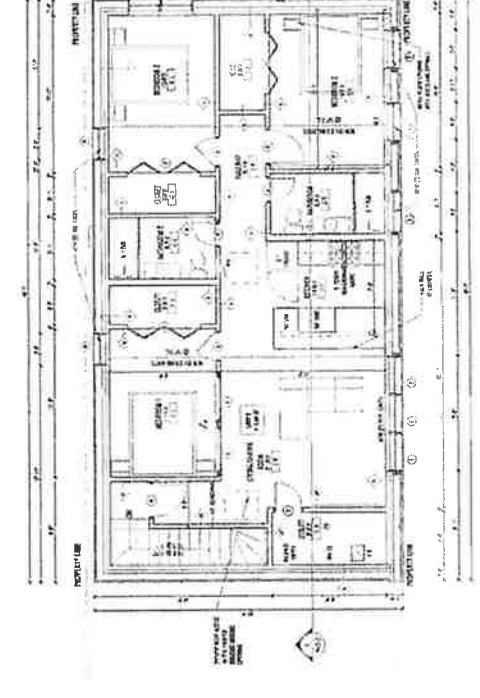
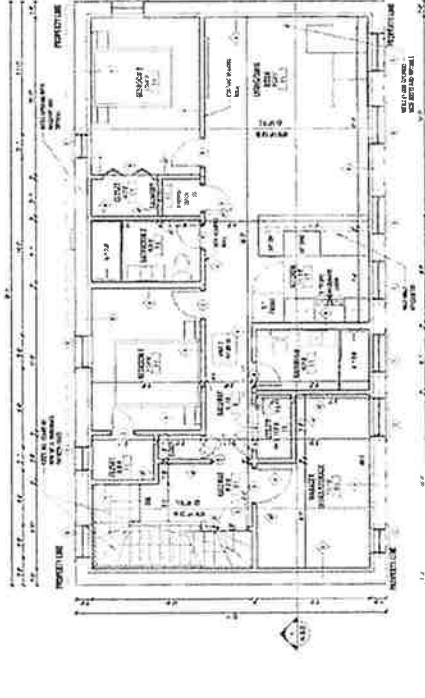
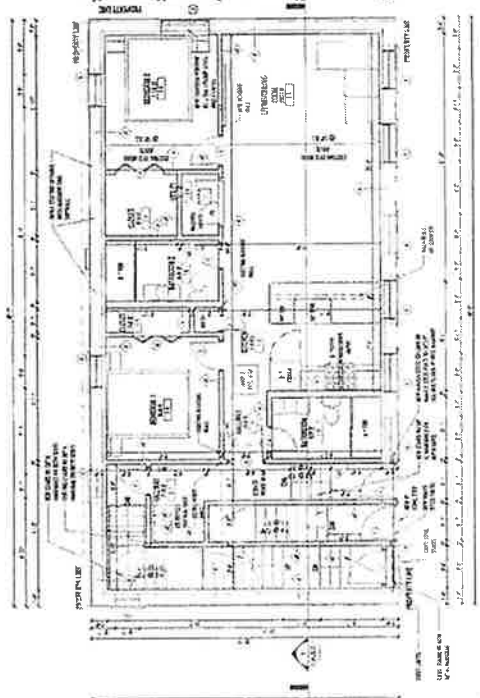
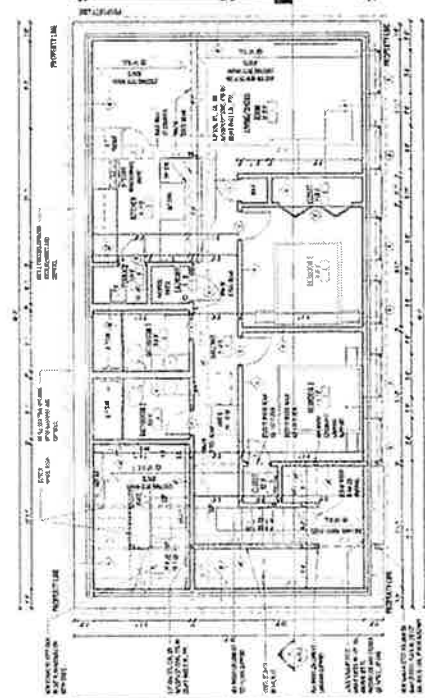
LEGEND

- 1. CONCRETE
- 2. GYPSUM BOARD
- 3. BRICK
- 4. BLOCK
- 5. GLASS
- 6. METAL
- 7. INSULATION
- 8. ROOFING
- 9. FLOORING
- 10. PAINT
- 11. FINISH
- 12. CASING
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ALL THESE WORKS BEING
THE PROPERTY OF THE ARCHITECT
AND NOT TO BE REPRODUCED
OR COPIED IN ANY MANNER
WITHOUT THE WRITTEN CONSENT
OF THE ARCHITECT.

| | |
|-------------|--------------|
| Project No. | 184507988 |
| Job No. | 184507988 |
| Sheet No. | A-30 |
| Date | 11/11/11 |
| Scale | AS SHOWN |
| Author | J. O'CONNELL |
| Checker | J. O'CONNELL |
| Engineer | J. O'CONNELL |
| Architect | J. O'CONNELL |
| Contractor | |
| Client | |
| Address | |
| City | |
| State | |
| Zip | |



PROJECT NO. 164-007924

ARCHITECT: J. J. COOPER & ASSOCIATES
 444 N. LEXINGTON
 CHICAGO, ILLINOIS 60611
 PHONE: 312.726.8700
 FAX: 312.726.8701

LEGEND

- EXISTING
- PROPOSED
- REMOVED
- UNRECORDED

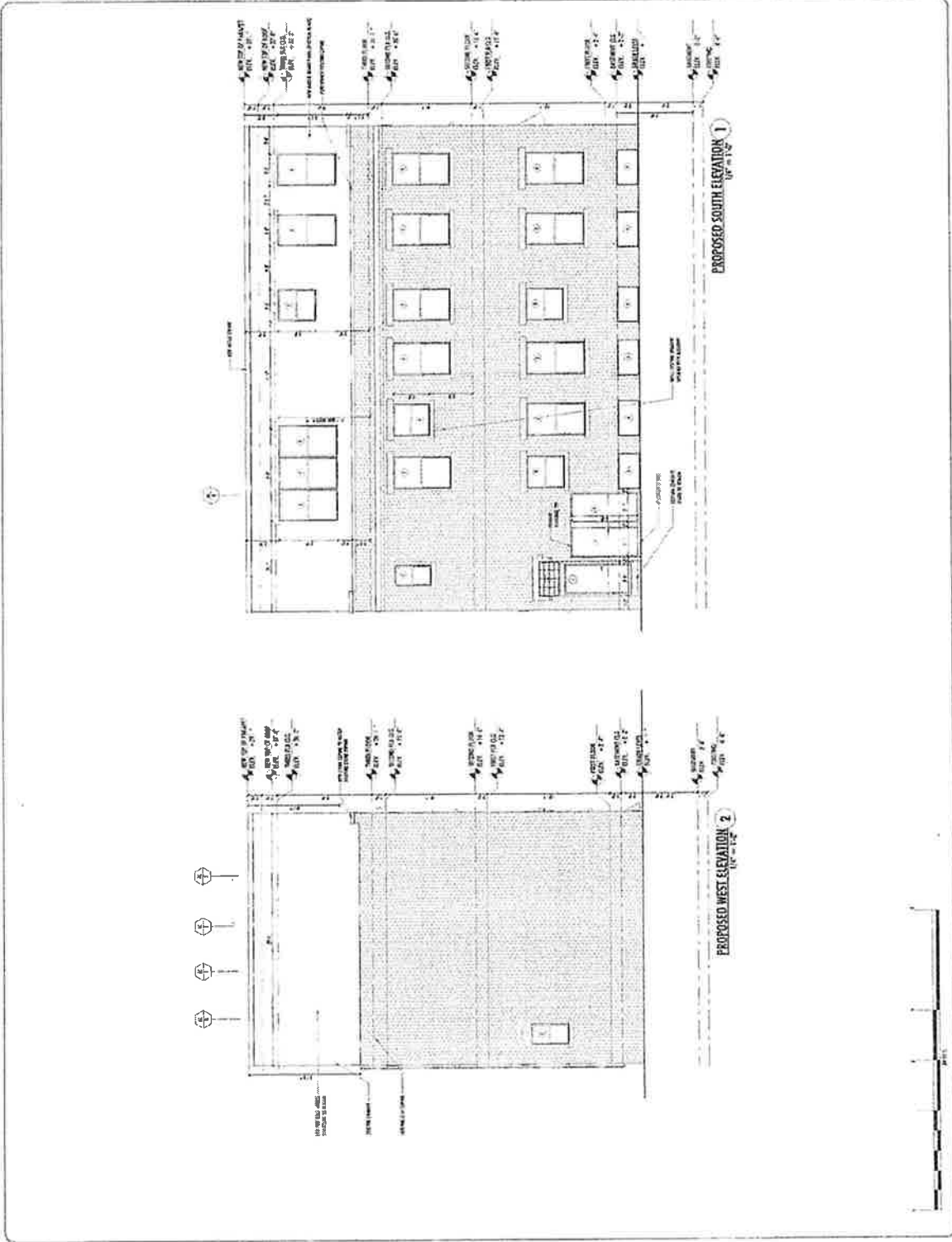


NOT TO SCALE. WITHOUT ENCLOSURE
 TO VERIFY THE EXISTING AND PROPOSED
 CONDITIONS AND TO VERIFY THE
 ACCURACY OF THE INFORMATION
 HEREON, THE ENGINEER HAS
 CONDUCTED VISUAL INSPECTION
 OF THE PROJECT AND HAS FOUND
 THE INFORMATION TO BE
 ACCURATE AND COMPLETE.

Project No. 164-007924

Sheet No. A-4.0

PROPOSED SOUTH & WEST ELEVATIONS





1164 164.00768
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 PROFESSIONAL ENGINEER
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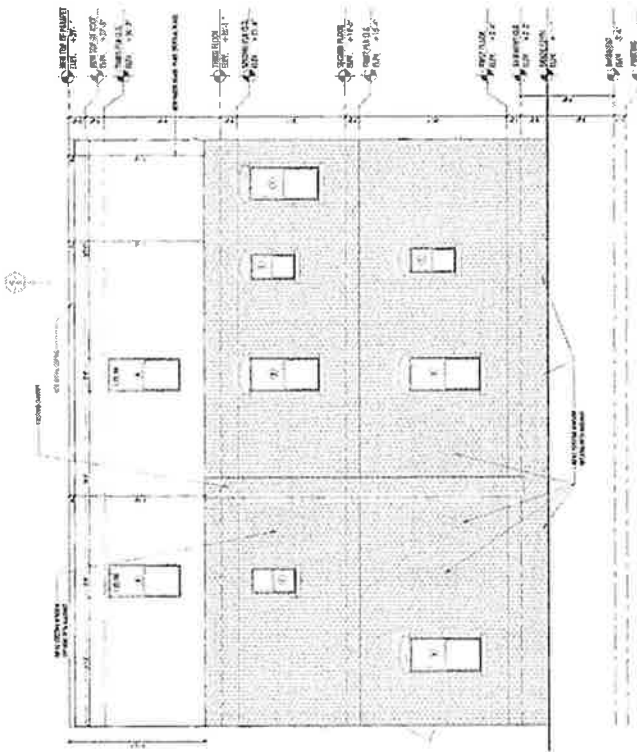
LEGEND

- WALL
- WINDOW
- DOOR
- ROOF
- SIGN

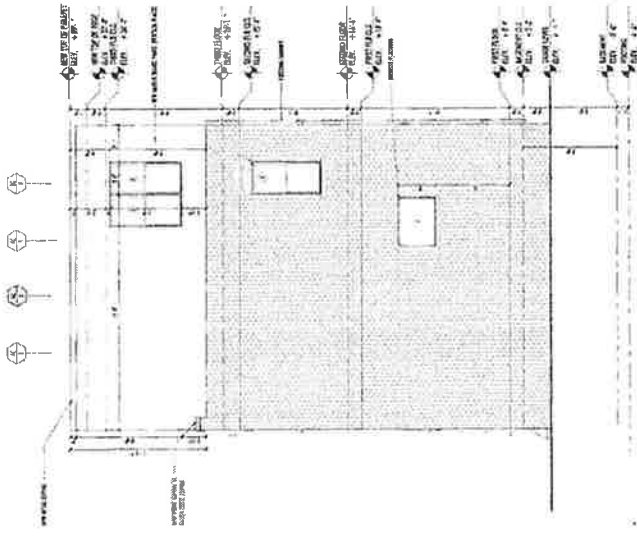


Project No. _____
 Date of Prep. _____
 Project Name _____
 Drawing No. **A-4.1**
 Drawing Title **PROPOSED NORTH & EAST ELEVATIONS**

SEE THESE NOTES AND SPECIFICATIONS
 TO DESIGN DRAWINGS (PREPARED BY
 ENGINEER) FOR FURTHER INFORMATION TO
 ADD (1) ON 1. STAIR FLOOR FINISH
 ADD (2) ON 2. STAIR FLOOR FINISH
 ADD (3) ON 3. STAIR FLOOR FINISH
 ADD (4) ON 4. STAIR FLOOR FINISH
 ADD (5) ON 5. STAIR FLOOR FINISH



PROPOSED NORTH ELEVATION
1/4" = 1'-0"



PROPOSED EAST ELEVATION
1/4" = 1'-0"

