

Narrative and Plans for Type 1  
Rezoning from RS-3 to RM-5  
for 2647 W. Augusta Boulevard, Chicago

A,1. Narrative:

- a. Existing 3 story brick building with 6 dwelling and vacant basement to be converted from 6 to 7 D. U. adding 1 additional unit basement rear.

A,2. Bulk and density standards

- a. The project's floor area ratio will be 2.0.
- b. The project's minimum lot area (MLA) density will be 605.43 square feet per dwelling unit.
- c. Three off-street parking spaces.
- d. Setbacks: front 7.6'  
West 0.75'  
East 4.0'  
Rear 23.81'
- e. Building height 42.0' existing.

# NEW BASEMENT DWELLING UNIT IN EXISTING 3-STORY BRICK CONSERVATION BUILDING (7 TOTAL UNITS)

## CODE MATRIX

SECTION	DESCRIPTION	SECTION	DESCRIPTION	SECTION	DESCRIPTION
1	General Building	1	General Building	1	General Building
2	Structural	2	Structural	2	Structural
3	Fire	3	Fire	3	Fire
4	Energy	4	Energy	4	Energy
5	Accessibility	5	Accessibility	5	Accessibility
6	Signage	6	Signage	6	Signage
7	Other	7	Other	7	Other

## NOTES

1. ALL WORK SHALL BE ACCORDING TO THE 2019 CHICAGO ENERGY CONSERVATION CODE AND THE 2019 CHICAGO BUILDING CODE UNLESS OTHERWISE SPECIFIED.

2. THE OWNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF CHICAGO.

3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF CHICAGO.

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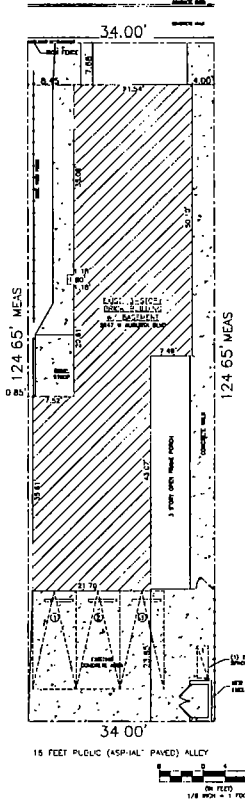
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF CHICAGO.

8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF CHICAGO.

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## SITE PLAN W AUGUSTA BLVD.



**CODE MATRIX, NOTES, & SITE PLAN**

**2647 W. AUGUSTA CHICAGO, IL**

**SCOPE OF WORK**

**SCALE FOR DRAWINGS**

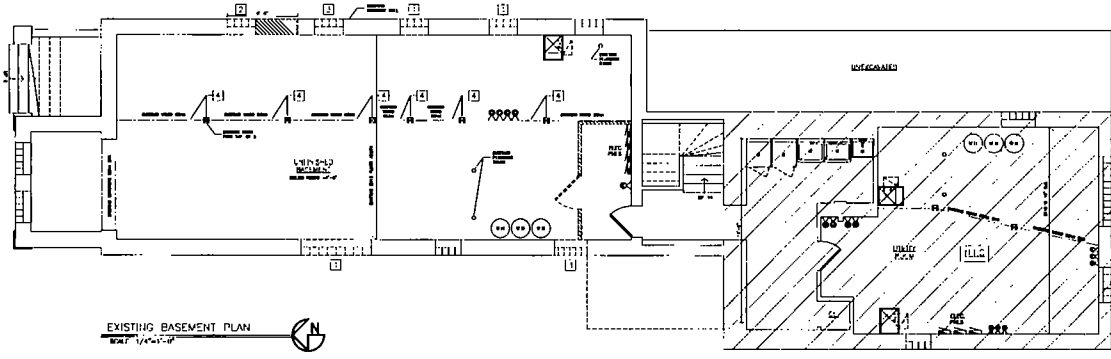
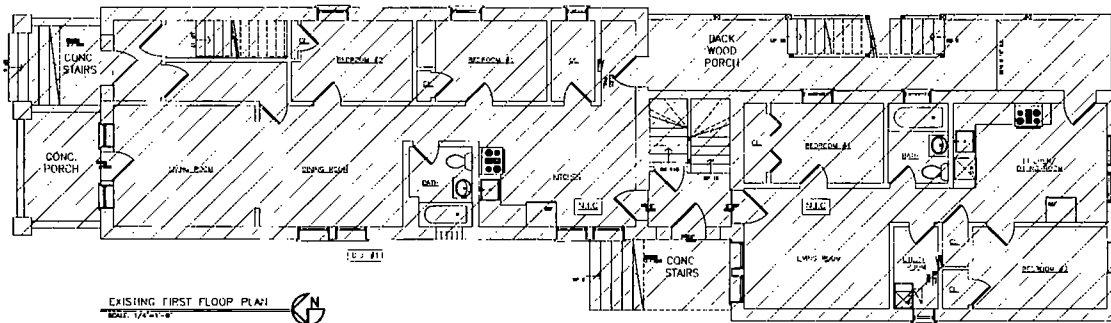
**REVISIONS**

**CERTIFICATION STATEMENT**

**ARCHITECT'S SEAL**

**T1.0**

1 OF 11



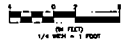
**LEGEND**

[Symbol]	WALL / PARTITION TO REMAIN
[Symbol]	WALL / PARTITION TO BE DEMOLISHED
[Symbol]	SLAB TO BE DEMOLISHED
[Symbol]	REMOVE
[Symbol]	AREA NOT IN CONTACT

- DEMOLITION REVISIONS**
1. REMOVE CONC. PORCH & REFRIG. ROOMS
  2. REMOVE CONC. STAIRS
  3. REMOVE CONC. STAIRS
  4. REMOVE CONC. STAIRS

- NOTES**
1. CONTRACTOR MUST REMOVE ALL DEBRIS AND BRUSH FROM SITE OF DEMOLITION AT ALL TIMES.
  2. CONTRACTOR MUST REMOVE ALL DEBRIS TO A DUMP AND MAINTAIN ACCESS TO ALL ADJACENT AREAS AT ALL TIMES.
  3. CONTRACTOR MUST REMOVE ALL DEBRIS TO A DUMP AND MAINTAIN ACCESS TO ALL ADJACENT AREAS AT ALL TIMES.

- S.H. CONDITIONS**
1. CONTRACTOR IS NOT RESPONSIBLE FOR OBTAINING PERMITS OR APPROVALS FROM ANY AGENCIES.
  2. CONTRACTOR MUST REMOVE ALL DEBRIS TO A DUMP AND MAINTAIN ACCESS TO ALL ADJACENT AREAS AT ALL TIMES.
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2647 W. AUGUSTA AVE  
CHICAGO, IL

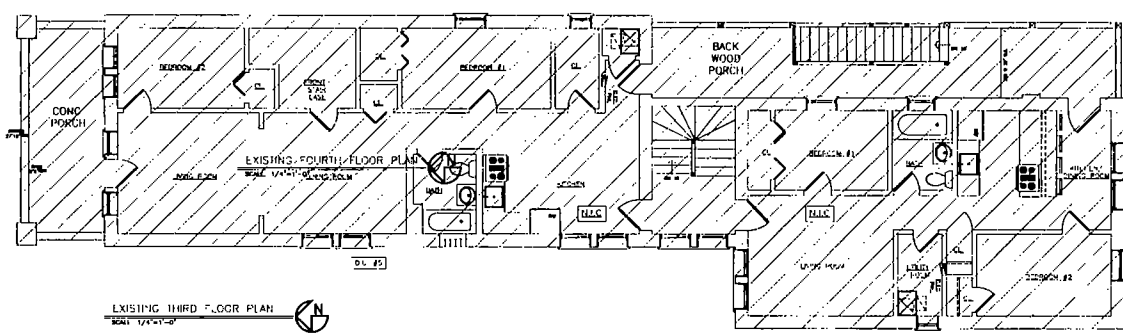
**ARCHITECTS**

**DEMOLITION PLANS**

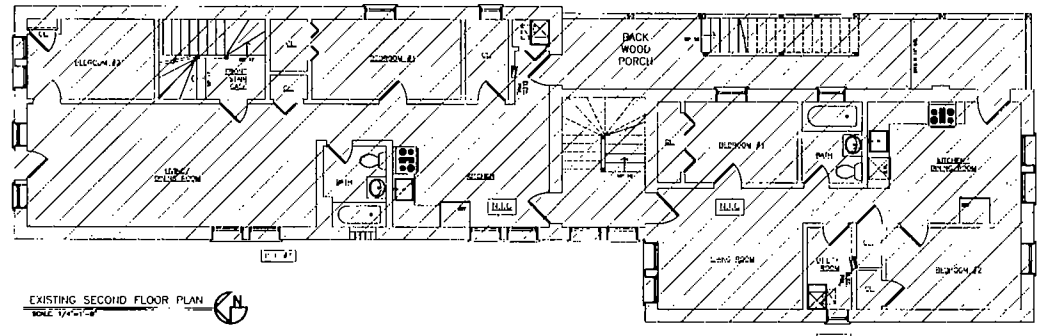
DATE: 10/15/14  
SCALE: 1/4" = 1'-0"

**D1.0**

2 OF 11



EXISTING THIRD FLOOR PLAN  
SCALE 1/4" = 1'-0"



EXISTING SECOND FLOOR PLAN  
SCALE 1/4" = 1'-0"

**LEGEND**

[Symbol]	WALL / PARTITION TO REMAIN
[Symbol]	WALL PARTITION TO BE DEMOLISHED
[Symbol]	CLIMATE TO BE DEMOLISHED
[Symbol]	DOOR
[Symbol]	WALL NOT TO BE CONTACTED

- DEMOLITION KEYNOTES**
1. DEMOLITION SHALL BE ACCORDING TO THE DEMOLITION PLAN AND DEMOLITION SPECIFICATIONS.
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- NOTES**
1. CONTRACTOR SHALL VERIFY ALL DEMOLITION WORK IS ACCORDING TO THE DEMOLITION PLAN AND DEMOLITION SPECIFICATIONS.
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2847 W. AUGUSTA AVE  
CHICAGO, IL

ARCHITECTS  
**RECTS**  
ARCHITECTS

PROJECT NO. 000000000

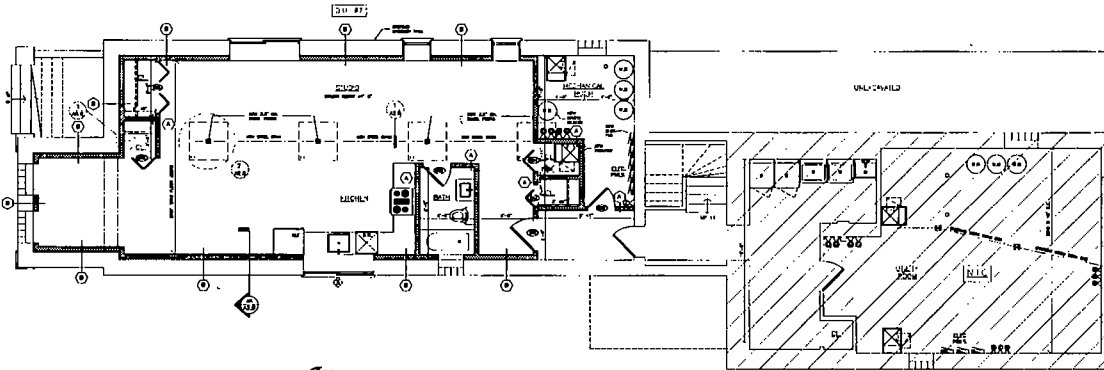
DATE: 02/01/2008

SCALE: 1/4" = 1'-0"

PROJECT: DEMOLITION PLANS

D1.1

2 OF 11



BASEMENT FLOOR PLAN  
 SCALE: 1/4" = 1' 0"

A.A. LEGEND	
[Symbol]	EXISTING WALL
[Symbol]	NEW CONCRETE WALL
[Symbol]	NEW BRICK WALL
[Symbol]	EXISTING FLOOR
[Symbol]	NEW FLOOR FINISH
[Symbol]	EXISTING PARTITION WALL
[Symbol]	NEW PARTITION WALL
[Symbol]	EXISTING CEILING
[Symbol]	NEW CEILING

SYMBOLS & NOTATION	
[Symbol]	MECHANICAL ROOM
[Symbol]	ELECTRICAL ROOM
[Symbol]	PLUMBING ROOM
[Symbol]	STAIR
[Symbol]	ELEVATOR
[Symbol]	MECHANICAL EQUIPMENT
[Symbol]	ELECTRICAL EQUIPMENT
[Symbol]	PLUMBING EQUIPMENT
[Symbol]	MECHANICAL EQUIPMENT
[Symbol]	ELECTRICAL EQUIPMENT
[Symbol]	PLUMBING EQUIPMENT

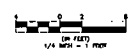
- PLAN NOTES**
- ALL WORK IS TO BE ACCORDING TO THE SPECIFICATIONS AND DETAILS OF THE CONTRACT DOCUMENTS.
  - ALL WORK SHALL BE ACCORDING TO THE LATEST EDITIONS OF THE BUILDING CODES AND REGULATIONS.
  - ALL WORK SHALL BE ACCORDING TO THE LATEST EDITIONS OF THE NATIONAL ELECTRICAL CODE AND REGULATIONS.
  - ALL WORK SHALL BE ACCORDING TO THE LATEST EDITIONS OF THE NATIONAL PLUMBING CODE AND REGULATIONS.
  - ALL WORK SHALL BE ACCORDING TO THE LATEST EDITIONS OF THE NATIONAL MECHANICAL CODE AND REGULATIONS.
  - ALL WORK SHALL BE ACCORDING TO THE LATEST EDITIONS OF THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) CODES AND REGULATIONS.
  - ALL WORK SHALL BE ACCORDING TO THE LATEST EDITIONS OF THE NATIONAL ARCHITECTURAL ASSOCIATION (NAA) CODES AND REGULATIONS.
  - ALL WORK SHALL BE ACCORDING TO THE LATEST EDITIONS OF THE NATIONAL ASSOCIATION OF ARCHITECTS (NAA) CODES AND REGULATIONS.
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HEADINGS/SCHEDULES	
1.0	MECHANICAL
2.0	ELECTRICAL
3.0	PLUMBING
4.0	MECHANICAL
5.0	ELECTRICAL
6.0	PLUMBING

- FINISH NOTES**
- ALL FINISHES SHALL BE ACCORDING TO THE LATEST EDITIONS OF THE NATIONAL FINISHES ASSOCIATION (NFA) CODES AND REGULATIONS.
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MATERIAL SCHEDULE	
1.0	MECHANICAL
2.0	ELECTRICAL
3.0	PLUMBING
4.0	MECHANICAL
5.0	ELECTRICAL
6.0	PLUMBING

FOOTING SCHEDULE	
1.0	MECHANICAL
2.0	ELECTRICAL
3.0	PLUMBING
4.0	MECHANICAL
5.0	ELECTRICAL
6.0	PLUMBING



2647 W. AUGUSTA AVE  
 CHICAGO, IL

**ARCHITECTS**

PROPOSED PLANS

DATE: 11/11/11

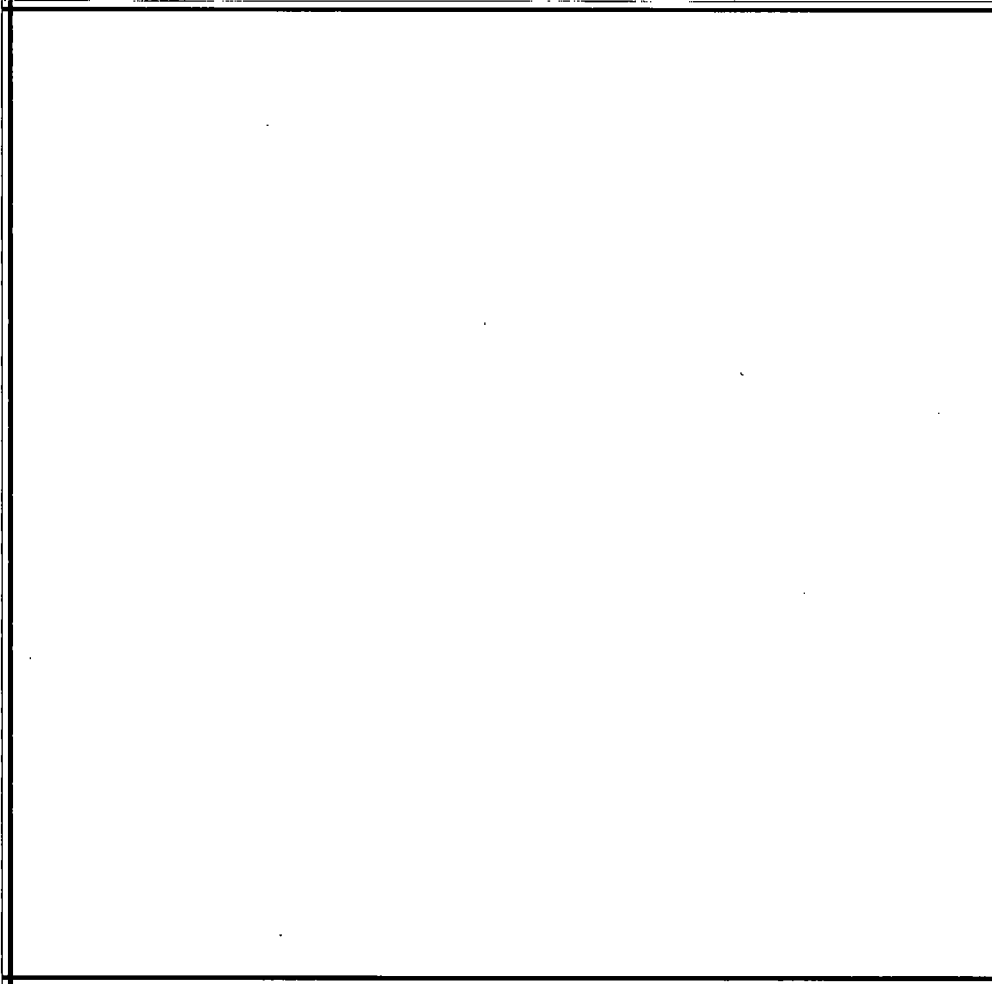
BY: [Signature]

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SCALE: 1/4" = 1' 0"

**A1.0**

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1st FLOOR  
2nd FLOOR  
3rd FLOOR  
BASEMENT

3RD FLOOR CONSTRUCTION  
CONCRETE & STEEL JOIST  
FRAMING & ALL OTHERS  
AS PER ARCHITECT'S  
NOTES & SPECIFICATIONS

WALL SECTION  
SCALE: 1/8"=1'-0"

PROJECT NO.	2647 W. AUGUSTA AVE
DATE	CHICAGO, IL
ARCHITECT	ARCHITECTS
REGISTERED ARCHITECTS	ILLINOIS ARCHITECTS BOARD
NO. 1147	DATE: 01/14/22
SCALE	DATE: 01/14/22
PROJECT	DATE: 01/14/22
NO. 1147	DATE: 01/14/22
SCALE	DATE: 01/14/22
PROJECT	DATE: 01/14/22

SECTION & DETAILS  
2647 W. AUGUSTA AVE  
CHICAGO, IL

ARCHITECTS  
111 N. WABASH ST.  
CHICAGO, IL 60601  
PH: 312.427.1400  
WWW.ARCHITECTS.COM

REGISTERED ARCHITECTS  
ILLINOIS ARCHITECTS BOARD  
NO. 1147  
DATE: 01/14/22

A2.0  
8 OF 11

PICTURES OF EXISTING ELIVATIONS

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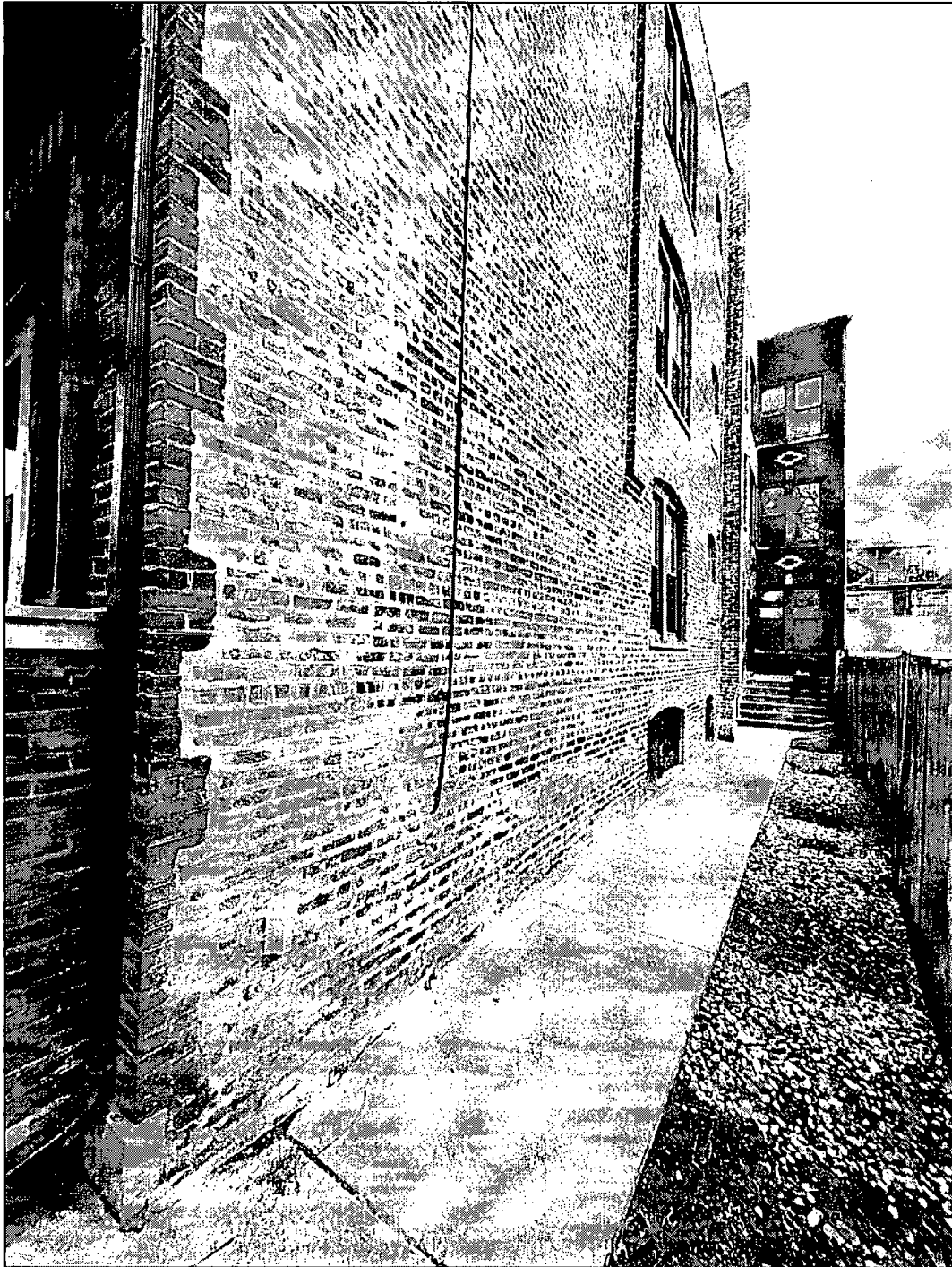
FRONT ELEVATION



PICTURES OF EXISTING ELEVATIONS

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EAST ELEVATION





PICTURES OF EXISTING ELEVATIONS

REAR ELEVATION



PICTURES OF EXISTING ELEVATIONS

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WEST ELEVATION

