

**17-13-0303-C(1) Type 1 Narrative & Plans – 3448-62 W. Lawrence / 4807-11 N. St. Louis**

Proposed Zoning: B1-3 Neighborhood Shopping District

Lot Area: 14,550.4 sq. ft. (116.41 ft. x 125 ft.)

Proposed Land Use: The subject property is improved with a three-story residential building containing nine (9) dwelling units (fronting on N. St. Louis), and a two-story building containing retail space at grade and vacant retail/office space above (fronting on W. Lawrence Ave.). The two (2) existing buildings will remain. The Applicant is proposing to establish eight (8) new residential units on the second floor of the portion of the building that fronts on W. Lawrence Ave. The existing 33 ft.-2 in. height dimension of the buildings will remain. The footprint and floor area totals of the existing buildings will also remain. The subject property is a Transit Served Location and will not be supported by any off-street parking spaces. Pursuant to Sec. 17-13-0303-D, the Applicant is seeking to reduce the number of off-street parking spaces for a Transit Served Location from eight (8) to zero and waive the required onsite loading berth.

(A) The Project's Floor Area Ratio: 25,578 square feet (1.76 FAR)

(B) The Project's Density (Minimum Lot Area Per D.U.): 855.91 square feet per D.U.  
(9 existing residential units plus 8 proposed residential units for a total of 17 residential units.)

(C) The amount of off-street parking: 0 parking spaces

\*Sec. 17-13-0303-D optional Administrative Adjustment and Variation; The subject property is a designated Transit Served Location. Pursuant to Sec. 17-13-1003-EE, the Applicant is seeking to reduce the number of off-street parking spaces for the proposed seventeen (17) residential unit total from eight (8) parking spaces to zero parking spaces. Please note nine (9) of the seventeen (17) residential units exist today and are not supported by off-street parking spaces. The eight (8) required off-street parking spaces relate to the eight (8) proposed residential units in the portion of the building fronting on W. Lawrence Ave.

(D) Setbacks:

- a. Front Setback: Zero
- b. Side Setbacks: Zero
- c. \*Rear Setback: N/A - Exempt

\* The rear setback calculation was based on the Applicant opting to treat W. Lawrence Ave. as the front of the subject property because it is a corner lot.

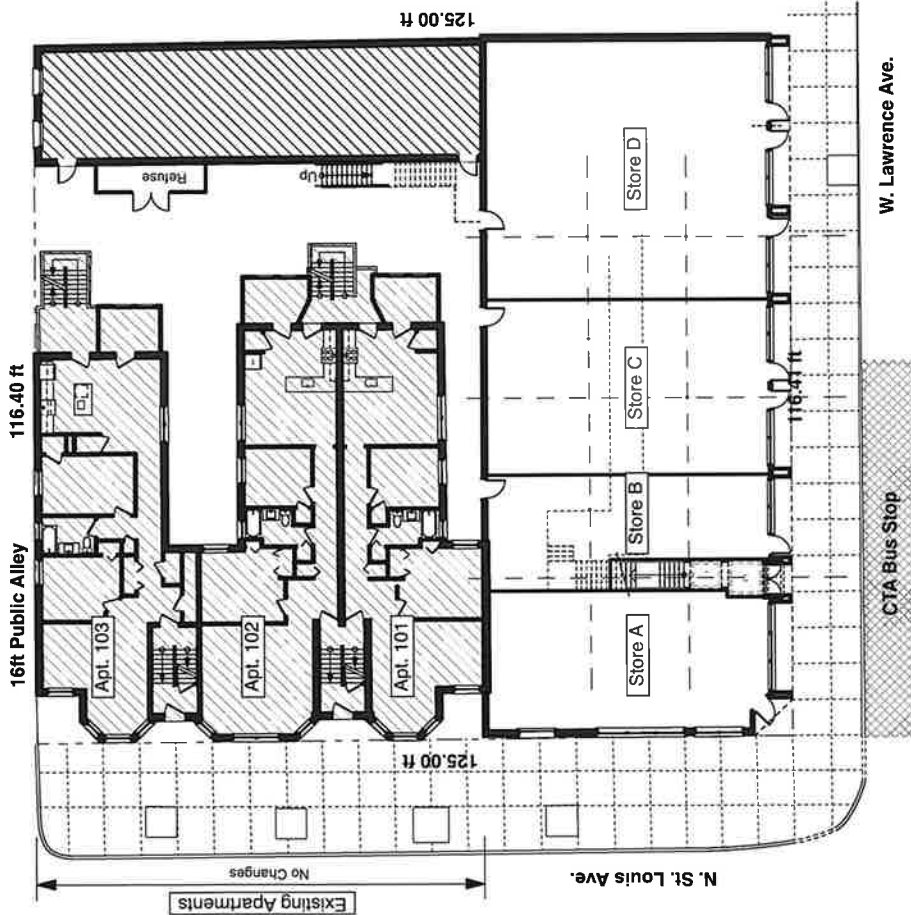
**Zoning Data**

3448-62 W. Lawrence 040102624		Regulation		Site Data		Total
Net Site Area SF	Current Proposed	14550.40 SF	Existing Apt. Bldg 4807-11 N. St. Louis	Existing Comm. Bldg 3448-62 W. Lawrence	6,191.14	14,550.40
Proposed Use						
PN			Apartments (No Change)	Residential Conversion over Existing Commercial		0.0
District		B1-2 (Existing)	1311426031	1311426030		
Permitted Uses*			B1-2 (Existing)	Commercial / Residential		
Maximum FAR (proposed)		17-3-0403-A	2.20	3.00		
Maximum Permitted FAR SF			18,390	18,573		36,964
Actual (Proposed) FAR SF			14,094	11,484		25,578
Maximum Permitted Ht Ft		17-3-0403-A	45ft	65ft		62.1'
MLA Minimum		17-3-0402-A	1000	400		
Maximum DU's Allowed Proposed DU's			8.4 (Existing)	15 8		23 17
Maximum EFF DU's		17-3-0410-A	20%	20%		
Min Rear Yard FT -W/ DU's No DU's on level		17-3-0405-A	30ft Req'd - Approx 26ft Ex'g NA	Not Req'd 0 ft		0
Min Side Yard Setback Feet		17-3-0406	0	0		0
Front Yard Setback		17-3-0404	0	0		0
Pedestrian Street?		17-3-0503-D	No	Yes		
Minimum Qty Off-Street Pkg. Proposed Qty Off-Street Pkg. Min. Bicycle Parking		0	Legal Non-Conforming 3 Stalls 1 per each 2 autos	TOD Exemption 3 Stalls 9		0 16 Stalls 1 per each 2 autos (3 enclosed 4 outdoor)
Min. Qty Off-Str Loading		NA	0	0		0

**Building Data**

Bldg Area Summary			
Floor	3448*	4807-11	FAR SF
3rd	0	4442	4,442
2nd	5970	4442	10,412
Ground*	7189	4442	11,631
Bsmt	0	4442	0
<b>Totals:</b>	<b>13,159</b>	<b>17,768</b>	<b>26,485</b>

\* Area includes 1-story structure against Alley



**1st Floor (Existing)**

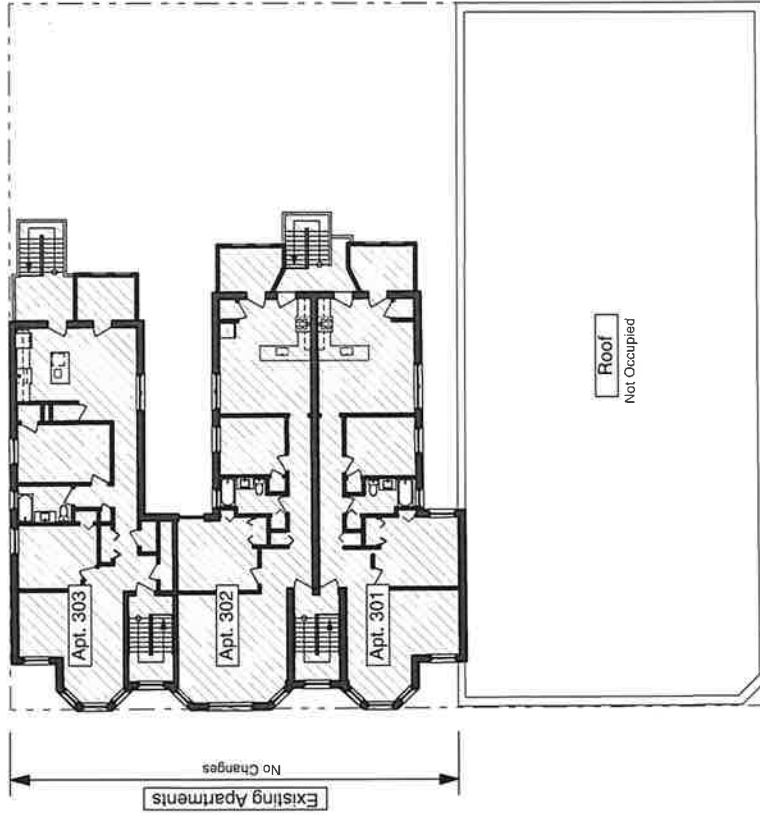


St. Louis & Lawrence, LLC. **3448 W. Lawrence Ave / 4807-11 N. St. Louis Ave.**  
 Owner

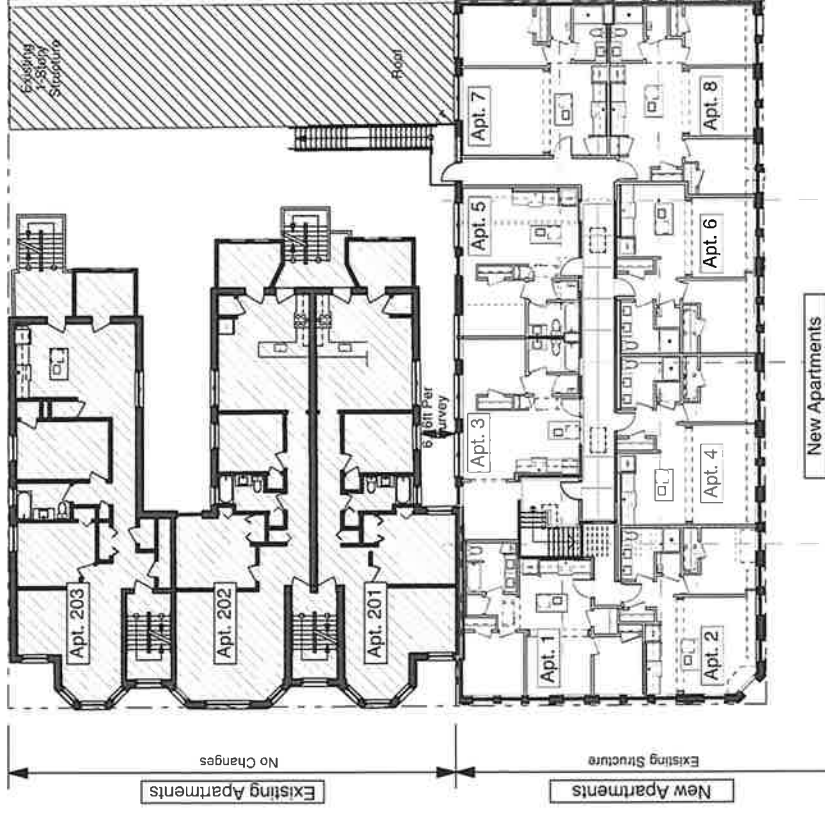
Site Plan, Ground Level Plan & Data  
4/2/24

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### Site Plan - 3rd Floor



### Site Plan - 2nd Floor

St. Louis & Lawrence, L.L.C.  
Owner

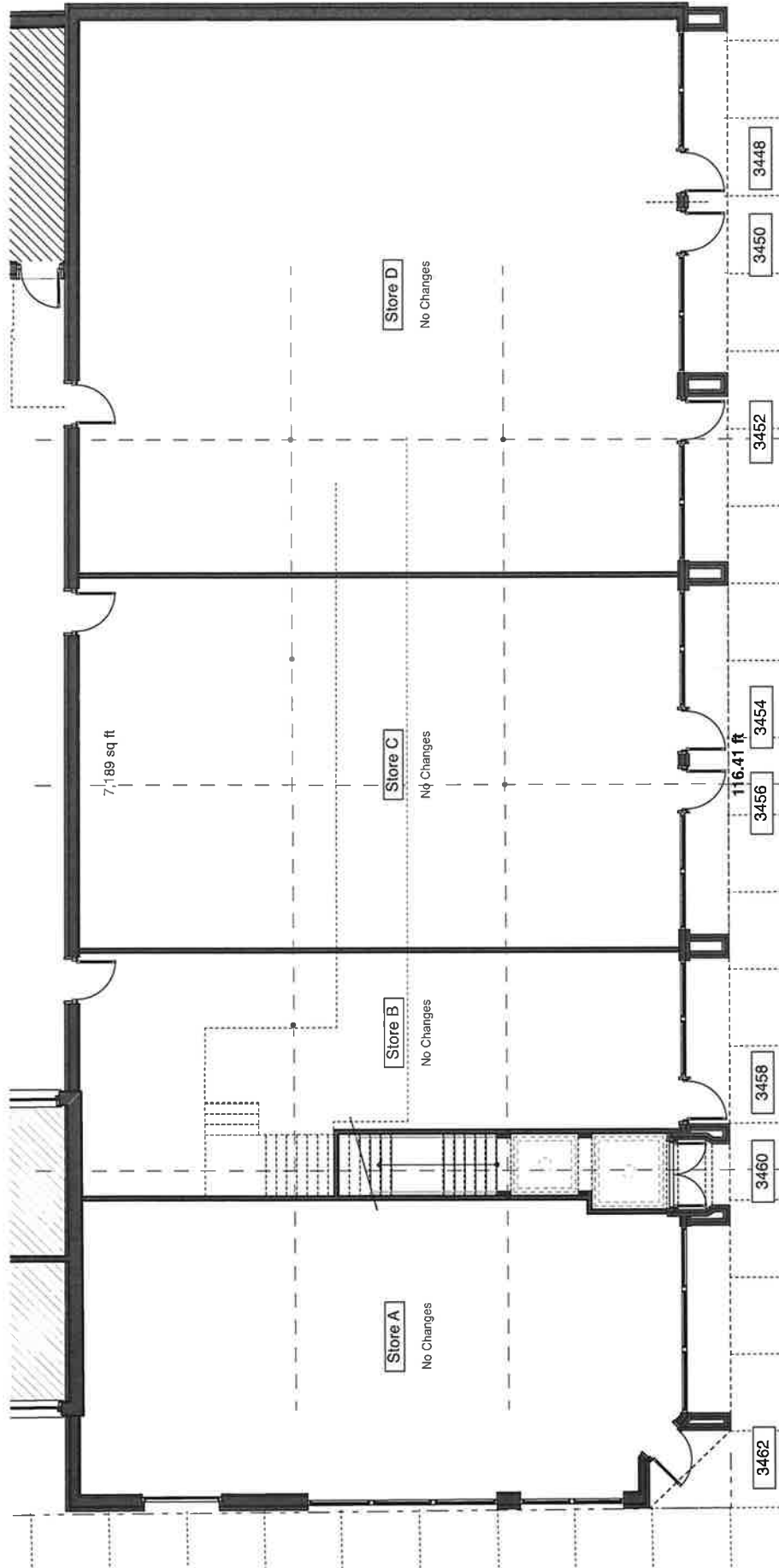
3448 W. Lawrence Ave /  
4807-11 N. St. Louis Ave.

3448-62 W. Lawrence Ave / 4807-11 N. St. Louis Ave.  
Chicago, Illinois

Site Plan for 2nd & 3rd Floors  
4/2014

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**1st Floor (Existing)**

SCALE: 1/8" = 1'-0" 0 4' 8' 16'



St. Louis & Lawrence, LLC.  
Owner

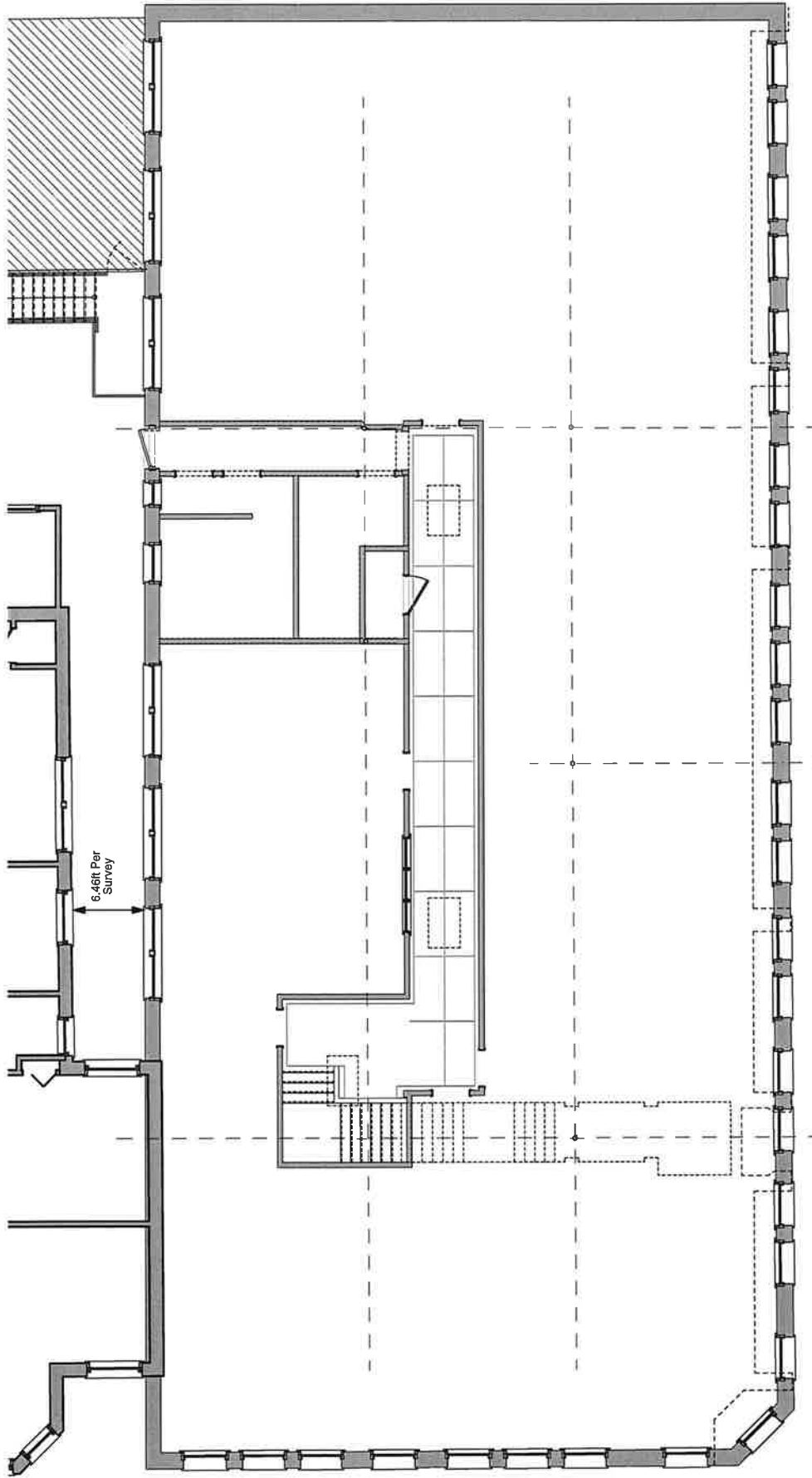
3448 W. Lawrence Ave /  
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Chicago, Illinois

1st Floor (Existing & Proposed)



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## 2nd Floor (Existing)

SCALE: 1/8" = 1'-0" 0 4' 8' 16'



2nd Floor (Existing)  
4/24

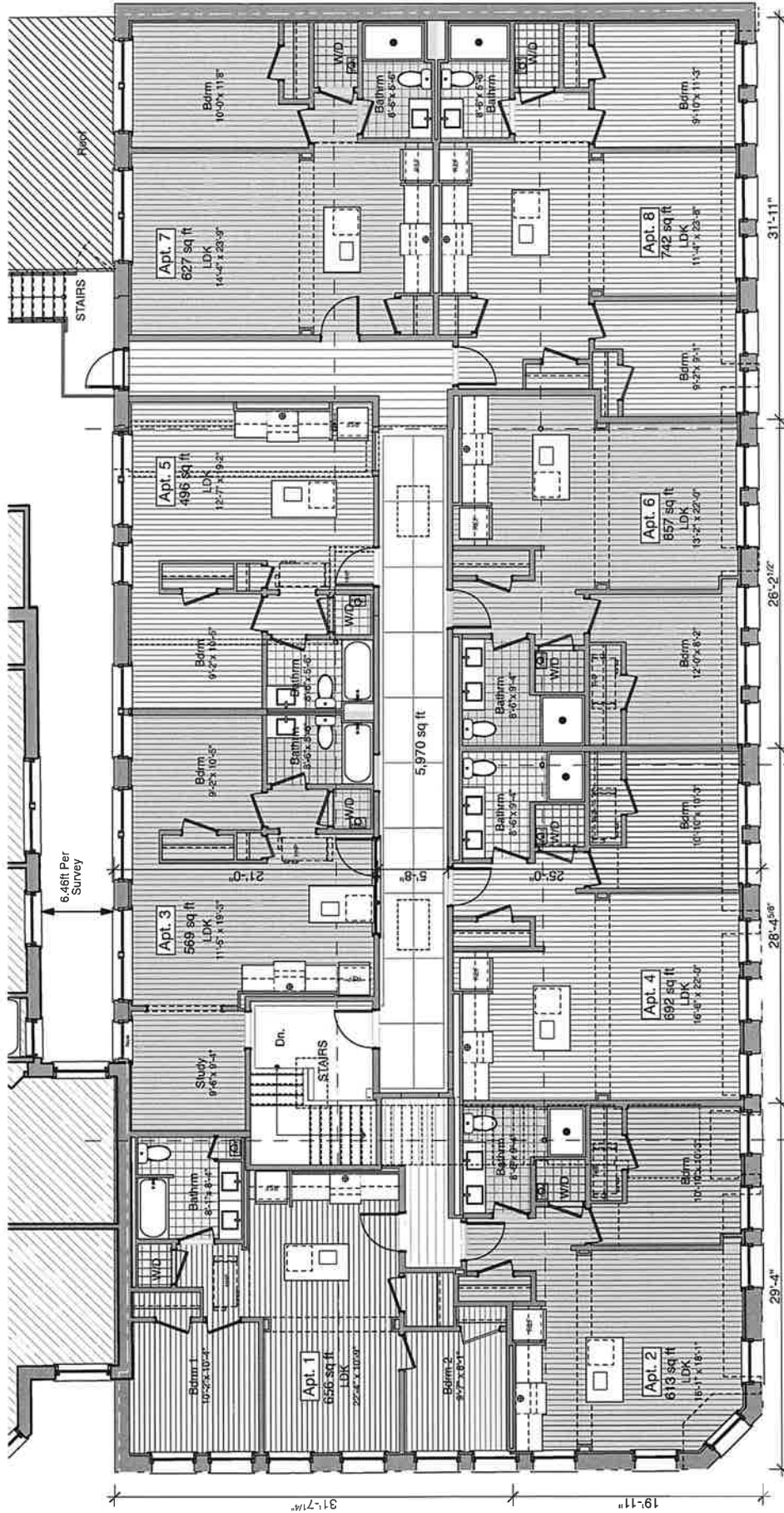
3448-62 W. Lawrence Ave / 4807-11 N. St. Louis Ave.  
Chicago, Illinois

**3448 W. Lawrence Ave /  
4807-11 N. St. Louis Ave.**

St. Louis & Lawrence, LLC.  
Owner

Client: St. Louis & Lawrence, LLC  
(04/25/2014)

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## 2nd Floor (Proposed)

SCALE: 1/8" = 1'-0"



2nd Floor Proposed

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Chicago, Illinois

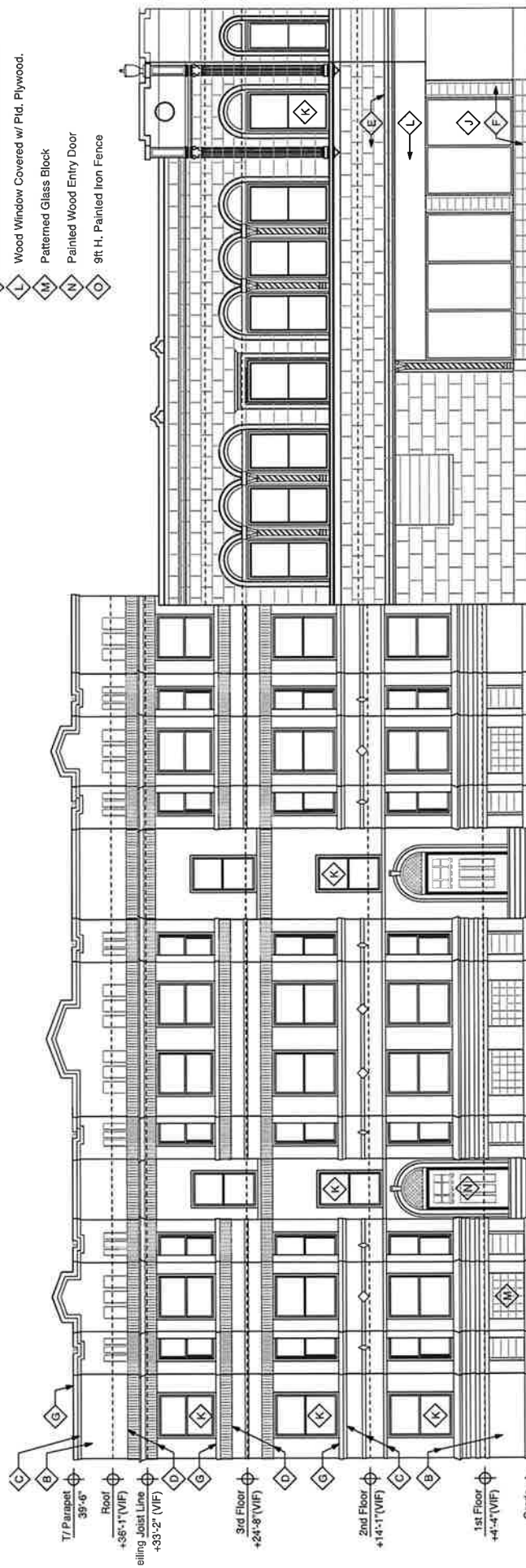
**3448 W. Lawrence Ave /  
4807-11 N. St. Louis Ave.**

**St. Louis & Lawrence, L.L.C.**  
Owner

Client: St. Louis & Lawrence, L.L.C.  
(On file with City of St. Louis)

**MATERIALS KEY NOTES**

- A Masonry Common Brick, Running Bond
- B Masonry Face Brick, Running Bond
- C Masonry Face Brick, Row Lock
- D Masonry Face Brick, Soldier Course
- E Glazed Decorative Terra Cotta
- F Glazed Decorative Concrete Block
- G Limestone Sill or Coping.
- H Clay Tile Coping.
- I Treated Wood Porch Framing or Railing
- J Painted Aluminum Storefront w/ Clear Glass
- K Painted Aluminum Window w/ Clear Glass
- L Wood Window Covered w/ Ptd. Plywood.
- M Patterned Glass Block
- N Painted Wood Entry Door
- O 9ft H. Painted Iron Fence



West (St. Louis Ave.) Elevation



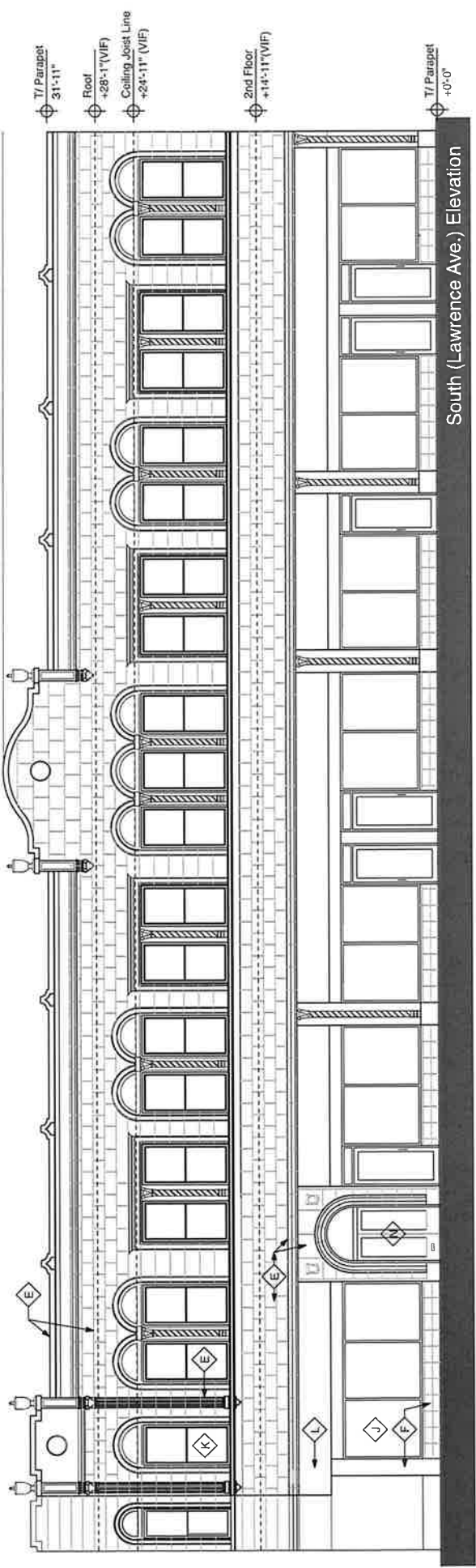
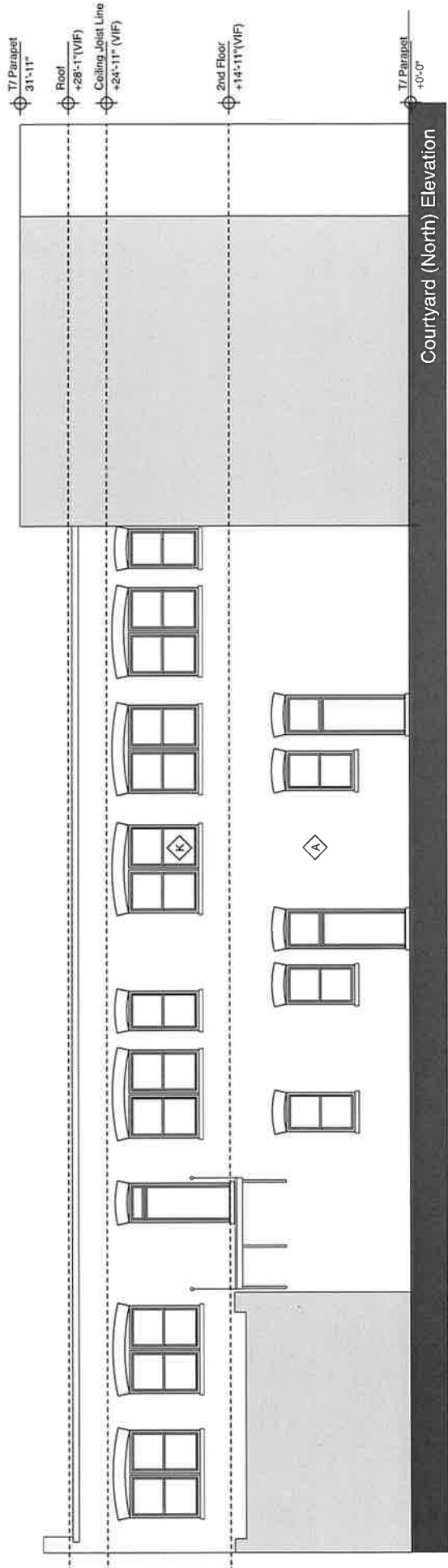
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Chicago, Illinois

3448 W. Lawrence Ave /  
4807-11 N. St. Louis Ave.

St. Louis & Lawrence, LLC.  
OWNER

Checked  
Date: 10/15/2014  
10-15-2014

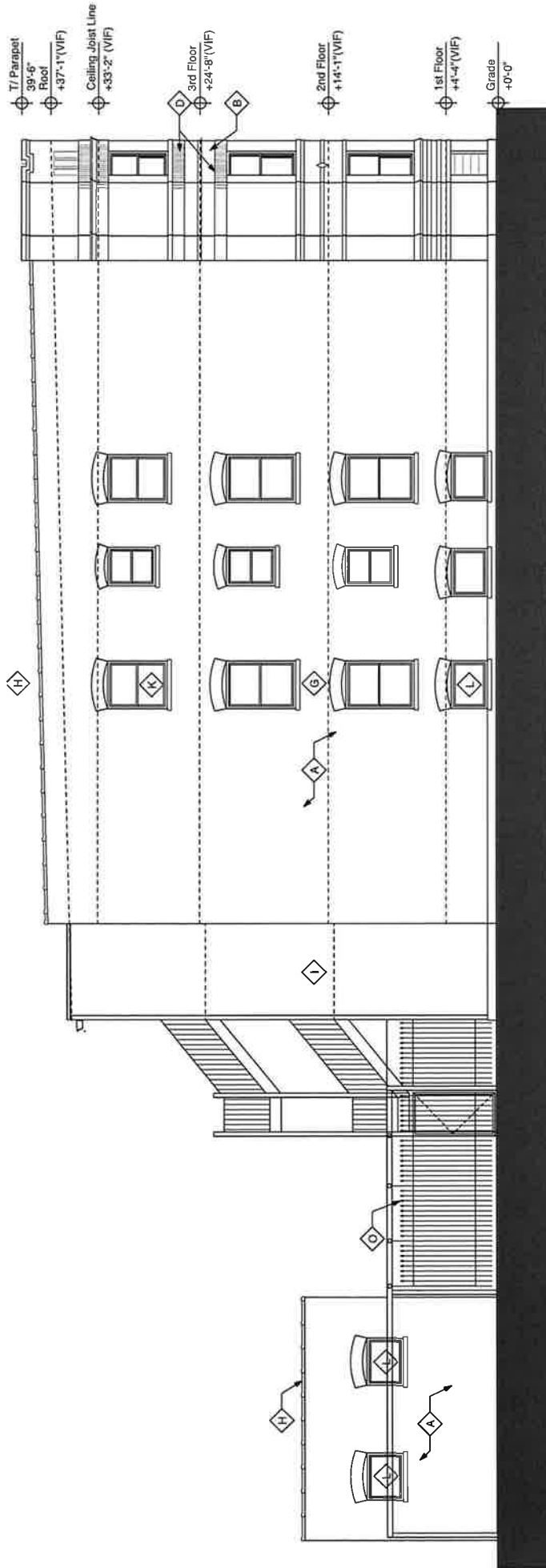
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 Owner Chicago, Illinois







North Elevation  
 N

3448-62 W. Lawrence Ave / 4807-11 N. St. Louis Ave.  
 Chicago, Illinois

**3448 W. Lawrence Ave /**  
**4807-11 N. St. Louis Ave.**

St. Louis & Lawrence, L.L.C.  
 Owner

Client: St. Louis & Lawrence, L.L.C.  
 (S/N: 10/20/2018)

**Pappageorge Haymes Partners**