

17-13-0303-C(1) Type 1 Narrative & Plans – 2411 N. Lincoln Ave., Chicago, IL

Proposed Zoning: B3-5 Community Shopping District

Lot Area: 16,780 square feet (irregular lot shape)

Proposed Land Use: The Applicant is proposing to permit a 2,780.7 sq. ft. addition to the existing five-story mixed-use building's, which obtained a building permit on March 15th, 2022; first floor to expand its retail footprint. The existing mixed-use building will remain 57 ft. in height. The existing thirty-six (36) residential units located above grade will also remain without change. The subject property is a Transit Served Location and will be supported by eighteen (18) off-street parking spaces.

(A) The Project's Floor Area Ratio: 52,233.5 square feet (3.11 FAR)

*As per Section 17-13-0303-D Option Administrative Adjustment, the subject property is a designated Transit Served Location. Pursuant to Sec. 17-3-0403-B, the Applicant is seeking to permit the proposed 3.11 Floor Area Ratio.

(B) The Project's Density (Minimum Lot Area Per D.U.): 466.11 square feet per D.U.
(36 existing residential units to remain)

(C) The amount of off-street parking: 18 parking spaces

*The subject property is a designated Transit Served Location. Pursuant to Sec. 17-13-1003-EE, the Applicant will maintain eighteen (18) off-street parking spaces to serve the thirty-six (36) existing residential units.

(D) Setbacks:

a. Front Setback: zero (existing to remain)

b. Side Setbacks:

West Side: zero (existing to remain)

East Side: zero (existing to remain)

c. *Rear Setback: zero at first floor / 30 ft. for residential floors above grade (existing to remain)

(E) Building Height: 57 feet (existing to remain)



2 TRANSIT ORIENTED DEVELOPMENT AREA PLAN

SCALE: 1" = 80'



VIEW OF STATION FROM WEST



VIEW OF STATION ENTRANCE (FROM NORTH)



VIEW OF STATION FROM EAST

1 CTA RED/PURPLE/BROWN LINE - FULLERTON STATION PHOTOS

SCALE: 1" = 80'

2411 N. LINCOLN
CHICAGO, IL
ALTERATION

No.	Description	Date
1	ISSUE CHANGE	03/08/2024

Job No: 210523
Date: 12/01/2023

TRANSIT ORIENTED DEVELOPMENT INFORMATION

ARCHITECTS

d w e l l

1175 S. California Ave Chicago, IL 60622 773.461.9200 773.468.8201

A0.2

GENERAL NOTES:
1. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF CHICAGO ORDINANCES AND THE ILLINOIS BUILDING CODE.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF CHICAGO AND THE ILLINOIS DEPARTMENT OF COMMUNITY DEVELOPMENT.
3. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AND UTILITIES AT ALL TIMES.
4. ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE CITY OF CHICAGO.
5. THE CONTRACTOR SHALL MAINTAIN ADEQUATE RECORDS OF ALL WORK PERFORMED.
6. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
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2019 CHICAGO BUILDING CODE

BUILDING TO BE FULLY EQUIPPED WITH NFPA 13R SPRINKLER SYSTEM

FIRE EXTINGUISHERS

A1.1 TYPE BK SPACED IN MAX 130 FEET (CORRIDOR APPLANCES) LOCATED IN UNFINISHED BASEMENT LEVEL.

A1.2 TYPE BK SPACED IN MAX 130 FEET (CORRIDOR APPLANCES) LOCATED IN UNFINISHED BASEMENT LEVEL.

A1.3 TYPE BK SPACED IN MAX 130 FEET (CORRIDOR APPLANCES) LOCATED IN UNFINISHED BASEMENT LEVEL.

A1.4 TYPE BK SPACED IN MAX 130 FEET (CORRIDOR APPLANCES) LOCATED IN UNFINISHED BASEMENT LEVEL.

A1.5 TYPE BK SPACED IN MAX 130 FEET (CORRIDOR APPLANCES) LOCATED IN UNFINISHED BASEMENT LEVEL.



ARCHITECTS

1735 N. CALHOUN AVE. CHICAGO, IL 60602 773.483.0208 1773.483.0291

GENERAL NOTES:

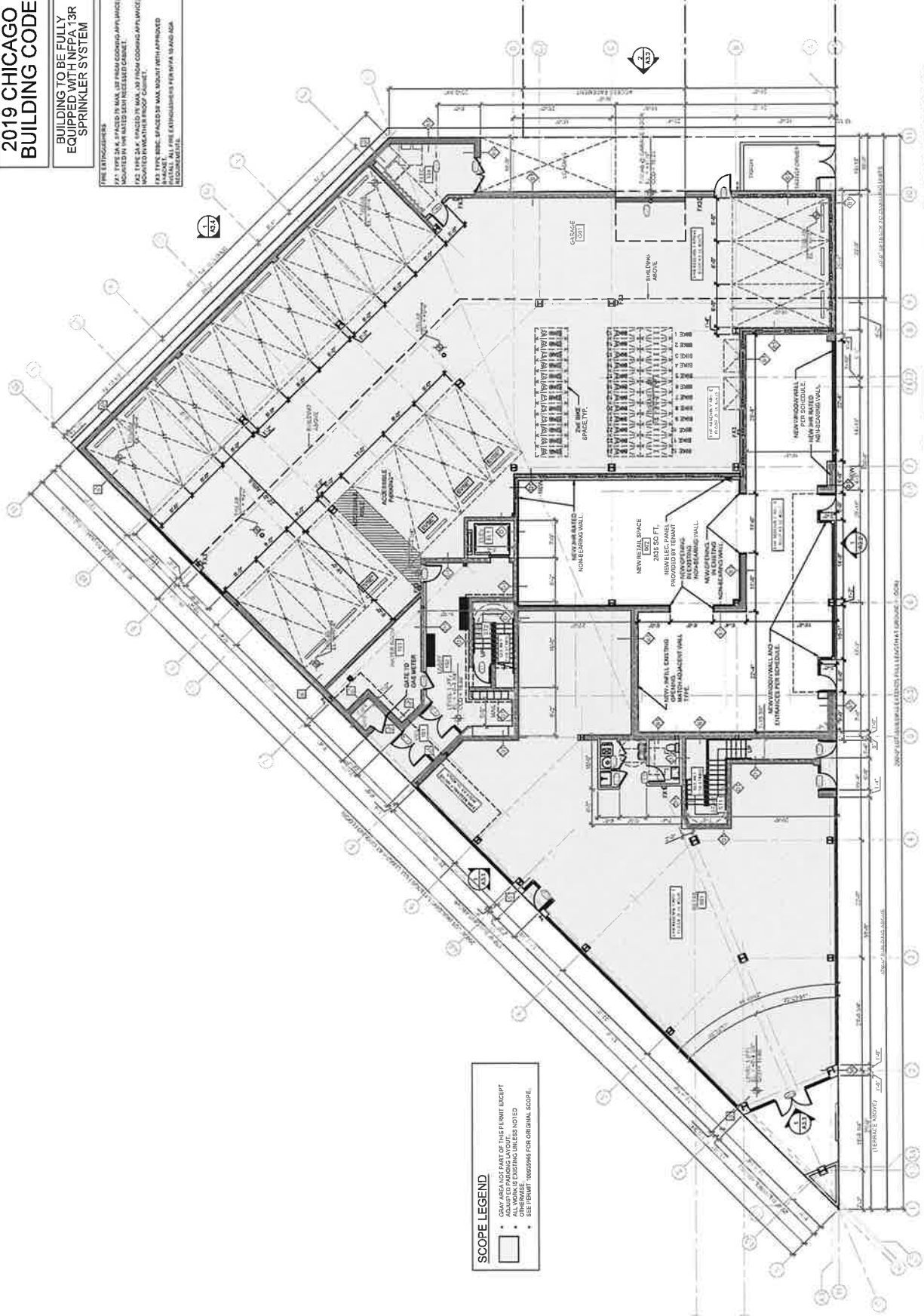
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4. ALL WORK SHALL BE IN ACCORDANCE WITH THE CHICAGO PLUMBING AND GAS CODE AND ALL APPLICABLE ORDINANCES.
5. ALL WORK SHALL BE IN ACCORDANCE WITH THE CHICAGO FIRE CODE AND ALL APPLICABLE ORDINANCES.
6. ALL WORK SHALL BE IN ACCORDANCE WITH THE CHICAGO SANITATION CODE AND ALL APPLICABLE ORDINANCES.
7. ALL WORK SHALL BE IN ACCORDANCE WITH THE CHICAGO SAFETY CODE AND ALL APPLICABLE ORDINANCES.
8. ALL WORK SHALL BE IN ACCORDANCE WITH THE CHICAGO SIGN CODE AND ALL APPLICABLE ORDINANCES.
9. ALL WORK SHALL BE IN ACCORDANCE WITH THE CHICAGO TRAVEL CODE AND ALL APPLICABLE ORDINANCES.
10. ALL WORK SHALL BE IN ACCORDANCE WITH THE CHICAGO WINDBLOWN DEBRIS CODE AND ALL APPLICABLE ORDINANCES.
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2411 N. LINCOLN CHICAGO, IL ALTERATION

No.	Description	Date
1	ISSUE CHANGE	03/28/2024

Job No: 210323
Date: 12/01/2023

2411 N. LINCOLN
LEVEL 1
FLOOR PLAN
A1.1



SCOPE LEGEND

- GRAY AREAS PART OF THE PERMIT EXCEPT ALL WORKS EXISTING UNLESS NOTED
- SEE PERMIT WORKS FOR ORIGINAL SCOPE.

1" GRADE 0'-0" = C.C.D 16'40"

1 INCH = 8 FEET

SCALE 1/8" = 1'-0"

LEVEL 1 FLOOR PLAN

2019 CHICAGO BUILDING CODE

BUILDING TO BE FULLY EQUIPPED WITH NFPA 13R SPRINKLER SYSTEM

SCOPE OF ALTERATION IS LIMITED TO FIRST FLOOR. LEVEL 2 - ROOF TO REMAIN AS EXISTING SHOWN FOR REFERENCE ONLY

- TYPICAL CONVENTIONS**
- 1. LEVEL 2 - SAME IDENTICAL WITH THE FOLLOWING EXCEPTIONS
 - 1.1. STAIRWAYS AT TRANSITIONAL FLOORS (SEE F.A. 1)
 - 1.2. FLOORING AT TRANSITIONAL FLOORS (SEE F.A. 1)
 - 1.3. FLOOR JOISTS AT TRANSITIONAL FLOORS (SEE F.A. 1)
 - 1.4. LEVEL 2 HAS ROOF TERRACE ON NORTH SIDE, LEVEL 2 HAS BALCONIES
 - 2. SEE F.A. 1 FOR DETAIL
 - 3.1. FLASHING/TERMINATION ASSEMBLY TAGS
 - 3.2. EXTERIOR DIMENSIONS AND WALL TAGS
 - 3.3. INTERIOR DIMENSIONS AND WALL TAGS
 - 3.4. LIGHT AND VENT LABELS
 - 3.5. PARTIAL HEIGHT WALLS
 - 4. WALL TYPES
 - 4.1. ALL INTERIOR WALLS ARE TYPE "B" UNLESS NOTED OTHERWISE
 - 4.2. ALL EXTERIOR WALLS ARE TYPE "A" UNLESS NOTED OTHERWISE
 - 4.3. SEE SHEET 01.1 FOR DETAIL ASSEMBLY INFORMATION.



1" GRADE 0'-0" = C.C.D. 16.40'

1" HIGH = 8 FEET

16' 16'

1" HIGH = 8 FEET

1" GRADE 0'-0" = C.C.D. 16.40'

LEVEL 3 FLOOR PLAN

2411 N. LINCOLN



2411 N. LINCOLN CHICAGO, IL ALTERATION

Job No. 210323
Date: 12.01.2023

LEVEL 3 FLOOR PLAN

A1.3

1525 California Ave Chicago IL 60622 773.461.2001 773.468.2001

ARCHITECTS

dwells

dwells architects llc
1525 California Ave Chicago IL 60622 773.461.2001 773.468.2001

dwells architects llc is a limited liability corporation organized under the laws of the State of Illinois. It is not a partnership, joint venture, or other unincorporated entity. The firm and its members are not liable for the actions or omissions of any individual member or employee of the firm. The firm and its members are not liable for the actions or omissions of any individual member or employee of the firm. The firm and its members are not liable for the actions or omissions of any individual member or employee of the firm.

GENERAL NOTES:

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4. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2019 CHICAGO PLUMBING AND MECHANICAL CODE.
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6. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2019 CHICAGO SAFETY CODE.
7. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2019 CHICAGO HEALTH AND SANITATION CODE.
8. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2019 CHICAGO ENVIRONMENTAL CODE.
9. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2019 CHICAGO COMMUNITY DEVELOPMENT CODE.
10. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2019 CHICAGO LANDMARK PRESERVATION CODE.
11. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2019 CHICAGO HISTORIC PRESERVATION CODE.
12. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2019 CHICAGO CULTURAL HERITAGE CODE.
13. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2019 CHICAGO ANTI-DISCRIMINATION CODE.
14. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2019 CHICAGO AFFORDABLE HOUSING CODE.
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2019 CHICAGO BUILDING CODE

BUILDING TO BE FULLY EQUIPPED WITH NFPA 13R SPRINKLER SYSTEM

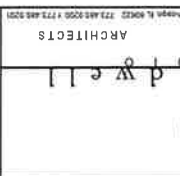
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LEVEL 2 - ROOF TO REMAIN AS EXISTING, SHOWN FOR REFERENCE ONLY

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1. LEVEL 2 - AS IDENTIFIED WITH THE FOLLOWING EXCEPTIONS
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 - 1.2. STAIR LAYOUT AT TRANSITIONAL FLOORS (SEE A.M. J)
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 - 1.4. FLOOR FINISH AT TRANSITIONAL FLOORS (SEE A.SHEET G)
 - 1.5. BALCONY ROOF FINISH ON NORTH SIDE LEVEL 2-3-4 HAS
2. SEE A.I. SHEETS FOR
 - 2.1. FLOORBOORD/TERACE ASSEMBLY TAGS
 - 2.2. WALL FINISHES AND WALL TAGS
 - 2.3. WALL FINISHES AND WALL TAGS
 - 2.4. WALL FINISHES AND WALL TAGS
3. SEE A.I. SHEETS FOR
 - 3.1. INTERIOR OVERHEAD AND WALL TAGS
 - 3.2. INTERIOR OVERHEAD AND WALL TAGS
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 - 3.4. INTERIOR OVERHEAD AND WALL TAGS
 - 3.5. INTERIOR OVERHEAD AND WALL TAGS
 - 3.6. INTERIOR OVERHEAD AND WALL TAGS
4. WALL TYPES
 - 4.1. ALL INTERIOR WALLS ARE TYPE "W" UNLESS NOTED OTHERWISE
 - 4.2. ALL EXTERIOR WALLS ARE TYPE "W" UNLESS NOTED OTHERWISE
 - 4.3. SEE SHEET G.I. FOR EXISTING ASSEMBLY INFORMATION.

ARCHITECTS

1735 N. CALHOUN AVE. CHICAGO, IL 60610 773.485.0205 • 773.485.0201



GENERAL NOTES:

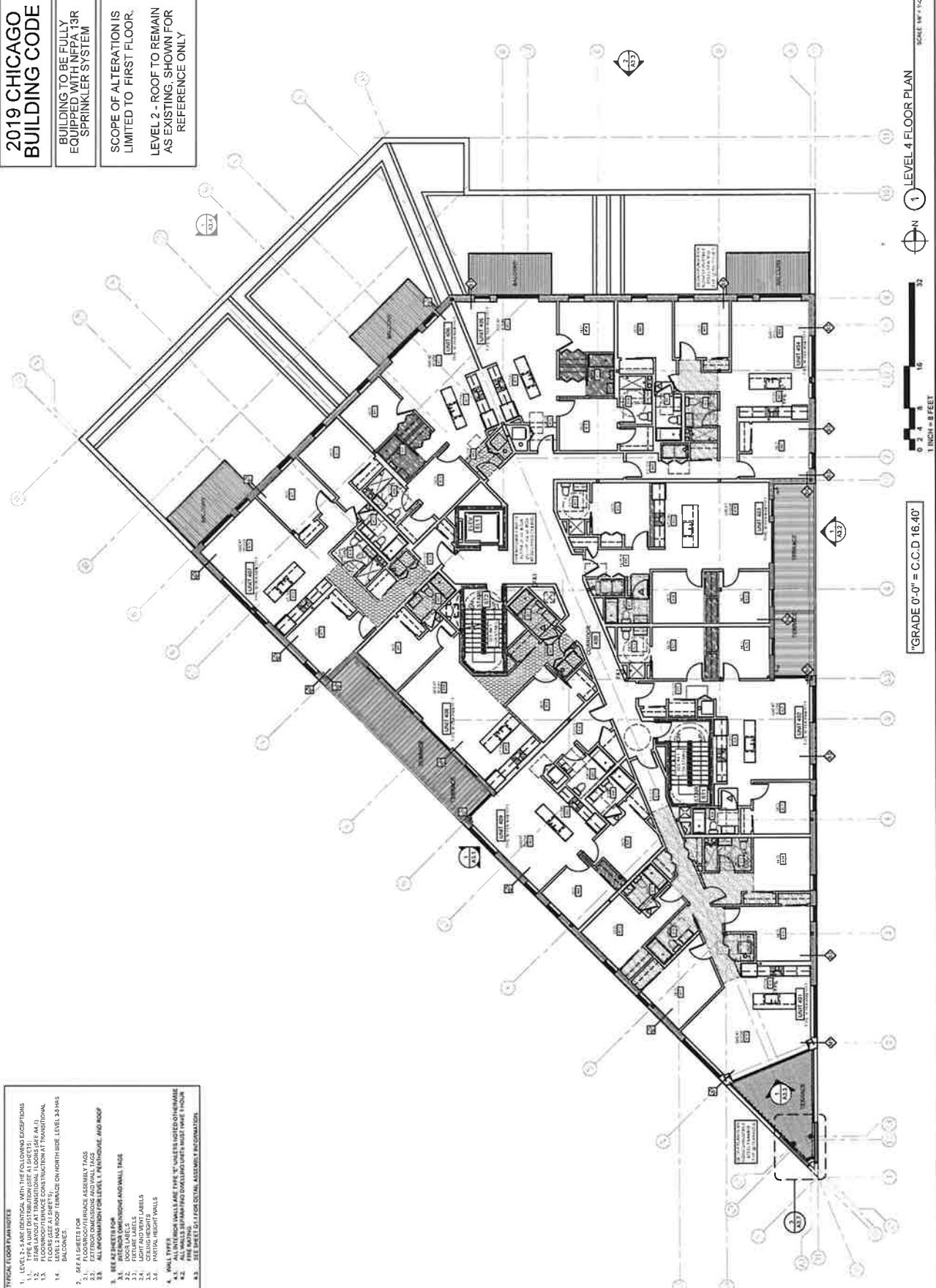
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2411 N. LINCOLN CHICAGO, IL ALTERATION

NO.	DESCRIPTION	DATE
1	SCHEMATIC	03/20/2023
2	PERMITS	04/10/2023
3	CONTRACT	04/10/2023
4	CONSTRUCTION	04/10/2023
5	CLOSE CHANGE	04/10/2023
6	COMPLETE	04/10/2023

Job No: 21023
Date: 12/1/2023

2411 N. LINCOLN
LEVEL 4 FLOOR PLAN
A1.4



SCALE 1/8" = 1'-0"

1" GRADE 0'-0" = C.C.D 16.40'

1 LEVEL 4 FLOOR PLAN

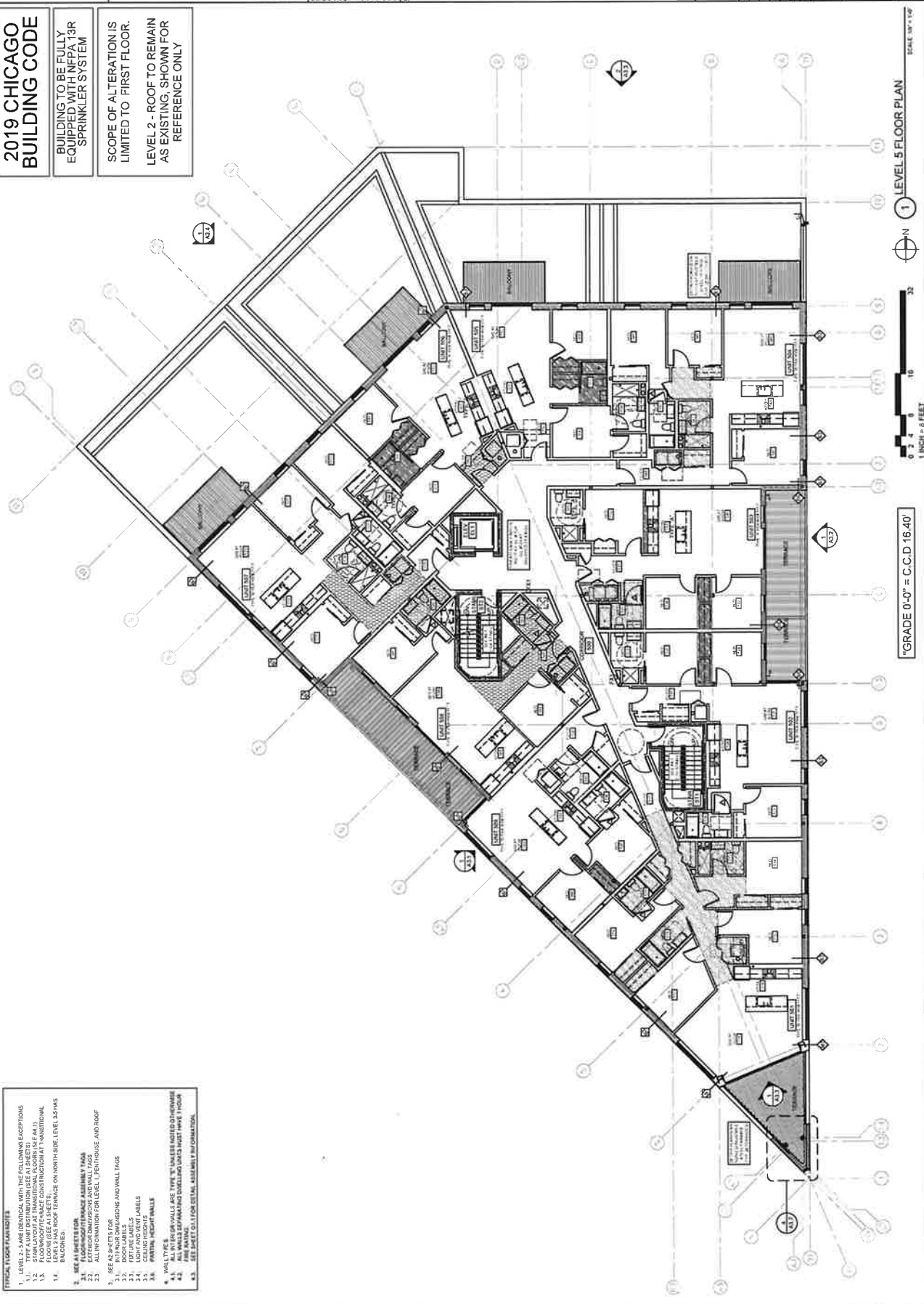
2019 CHICAGO BUILDING CODE

BUILDING TO BE FULLY EQUIPPED WITH NFPA 13R SPRINKLER SYSTEM

SCOPE OF ALTERATION IS LIMITED TO FIRST FLOOR.

LEVEL 2 - ROOF TO REMAIN AS EXISTING, SHOWN FOR REFERENCE ONLY

- TYPICAL FLOOR PLANS NOTES**
- LEVEL 2-5 ARE IDENTICAL WITH THE FOLLOWING EXCEPTIONS
 - STAIRS AND TRANSITIONAL FLOORS (SEE AM 1)
 - FLOORING/PERMITS CONSTRUCTION AT TRANSITIONAL
 - LEVEL 2-5 ROOF FINISHES ON NORTH SIDE, LEVEL 3-5 HAS BENCHES.
 - SEE AM 1 SHEETS FOR:
 - PERFORMANCE ASSEMBLY TAGS
 - EXTERIOR DIMENSIONS AND WALL TAGS
 - ALL INFORMATION FOR LEVEL 1, PENHOUSE AND ROOF
 - SEE AM 2 SHEETS FOR:
 - DOOR LABELS
 - LOFT AND VERT LABELS
 - CEILING HEIGHTS
 - CEILING FINISHES
 - WALL TYPES
 - ALL INTERIOR WALLS ARE TYPE "N" UNLESS NOTED OTHERWISE
 - ALL INTERIOR DOORS ARE TYPE "N" UNLESS NOTED OTHERWISE
 - ALL FINISHES ARE AS SHOWN UNLESS NOTED OTHERWISE
 - SEE SHEET 01.1 FOR DETAIL, ASSEMBLY INFORMATION.



2411 N. LINCOLN

ALTERATION

A1.5

Job No: 210223
Date: 12.01.2023

LEVEL 5 FLOOR PLAN

1 ZONE CHANGE

01/09/2024

1735 N. California Ave Chicago, IL 60622 773.441.8206 773.441.8231

ARCHITECTS
Whittle

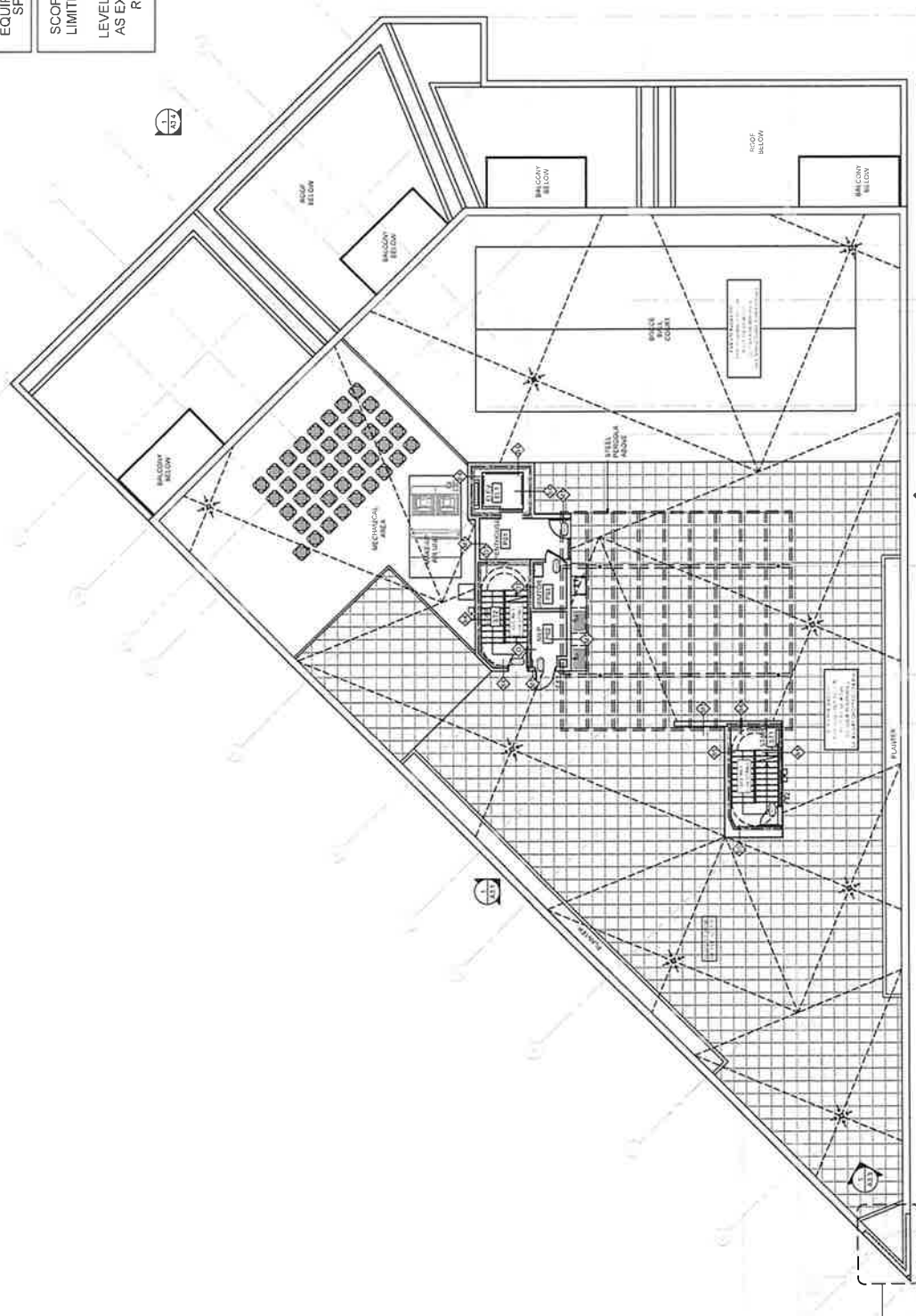
COLLECTOR NOTES

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2019 CHICAGO BUILDING CODE.
2. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2019 CHICAGO MECHANICAL CODE.
3. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2019 CHICAGO ELECTRICAL CODE.
4. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2019 CHICAGO PLUMBING AND MECHANICAL CODE.
5. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2019 CHICAGO FIRE CODE.
6. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2019 CHICAGO SAFETY CODE.
7. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2019 CHICAGO ENERGY CODE.
8. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2019 CHICAGO ENVIRONMENTAL CODE.
9. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2019 CHICAGO TRANSPORTATION CODE.
10. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2019 CHICAGO COMMUNITY DEVELOPMENT CODE.
11. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2019 CHICAGO LANDMARKS AND MONUMENTS CODE.
12. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2019 CHICAGO HISTORIC PRESERVATION CODE.
13. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2019 CHICAGO ANTI-CORRUPTION CODE.
14. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2019 CHICAGO LABOR RELATIONS CODE.
15. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2019 CHICAGO CONSUMER PROTECTION CODE.
16. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2019 CHICAGO FINANCIAL SERVICES CODE.
17. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2019 CHICAGO HEALTH CARE CODE.
18. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2019 CHICAGO EDUCATION CODE.
19. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2019 CHICAGO CHILDREN'S SERVICES CODE.
20. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2019 CHICAGO SENIORS SERVICES CODE.
21. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2019 CHICAGO DISABILITY SERVICES CODE.
22. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2019 CHICAGO COMMUNITY SERVICES CODE.
23. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2019 CHICAGO CULTURAL SERVICES CODE.
24. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2019 CHICAGO RECREATION SERVICES CODE.
25. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2019 CHICAGO ARTS AND CULTURE SERVICES CODE.
26. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2019 CHICAGO MEDIA SERVICES CODE.
27. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2019 CHICAGO TELECOMMUNICATIONS SERVICES CODE.
28. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2019 CHICAGO INFORMATION SERVICES CODE.
29. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2019 CHICAGO PROFESSIONAL SERVICES CODE.
30. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2019 CHICAGO BUSINESS SERVICES CODE.
31. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2019 CHICAGO CONSTRUCTION SERVICES CODE.
32. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2019 CHICAGO MAINTENANCE SERVICES CODE.
33. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2019 CHICAGO REPAIR SERVICES CODE.
34. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2019 CHICAGO RESTORATION SERVICES CODE.
35. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2019 CHICAGO DEMOLITION SERVICES CODE.
36. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2019 CHICAGO SITEWORK SERVICES CODE.
37. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2019 CHICAGO LANDSCAPE SERVICES CODE.
38. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2019 CHICAGO UTILITY SERVICES CODE.
39. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2019 CHICAGO TRANSPORTATION SERVICES CODE.
40. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2019 CHICAGO AVIATION SERVICES CODE.
41. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2019 CHICAGO MARITIME SERVICES CODE.
42. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2019 CHICAGO RAILROAD SERVICES CODE.
43. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2019 CHICAGO HIGHWAY SERVICES CODE.
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98. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2019 CHICAGO BRIDGE SERVICES CODE.
99. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2019 CHICAGO TUNNEL SERVICES CODE.
100. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2019 CHICAGO PORT SERVICES CODE.

2019 CHICAGO BUILDING CODE

BUILDING TO BE FULLY EQUIPPED WITH NFPA 13R SPRINKLER SYSTEM

SCOPE OF ALTERATION IS LIMITED TO FIRST FLOOR, LEVEL 2 - ROOF TO REMAIN AS EXISTING, SHOWN FOR REFERENCE ONLY



"GRADE 0'-0" = C.C.D 16'-40"

1 PENTHOUSE FLOOR PLAN

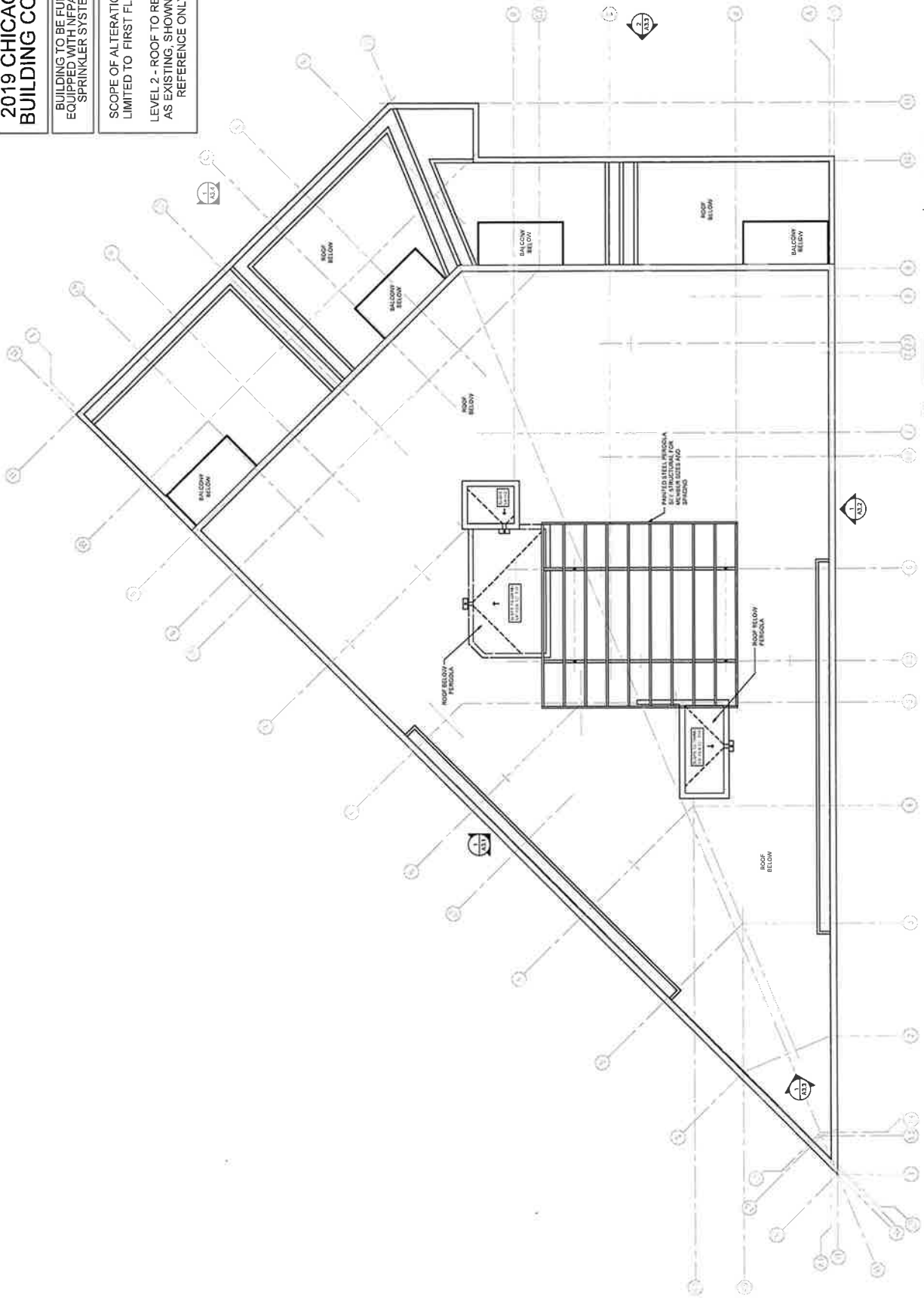
SCALE: 1/8" = 1'-0"

		2411 N. LINCOLN CHICAGO, IL ALTERATION
ARCHITECTS d j wells		
Job No.	210323	Job No. 210323 Date: 12.01.2023 PENTHOUSE FLOOR PLAN A.I.P.
Date:	12.01.2023	

2019 CHICAGO BUILDING CODE

BUILDING TO BE FULLY EQUIPPED WITH NFPA 13R SPRINKLER SYSTEM

SCOPE OF ALTERATION IS LIMITED TO FIRST FLOOR. LEVEL 2 - ROOF TO REMAIN AS EXISTING. SHOWN FOR REFERENCE ONLY



"GRADE 0'-0" = C.C.D 16.40"



SCALE: 1/8" = 1'-0"

1 ROOF PLAN

2411 N. LINCOLN CHICAGO, IL ALTERATION

No.	Description	Date
1	2020 EXPANSION	08/08/2024

Job No: 210323
Date: 12/01/2023

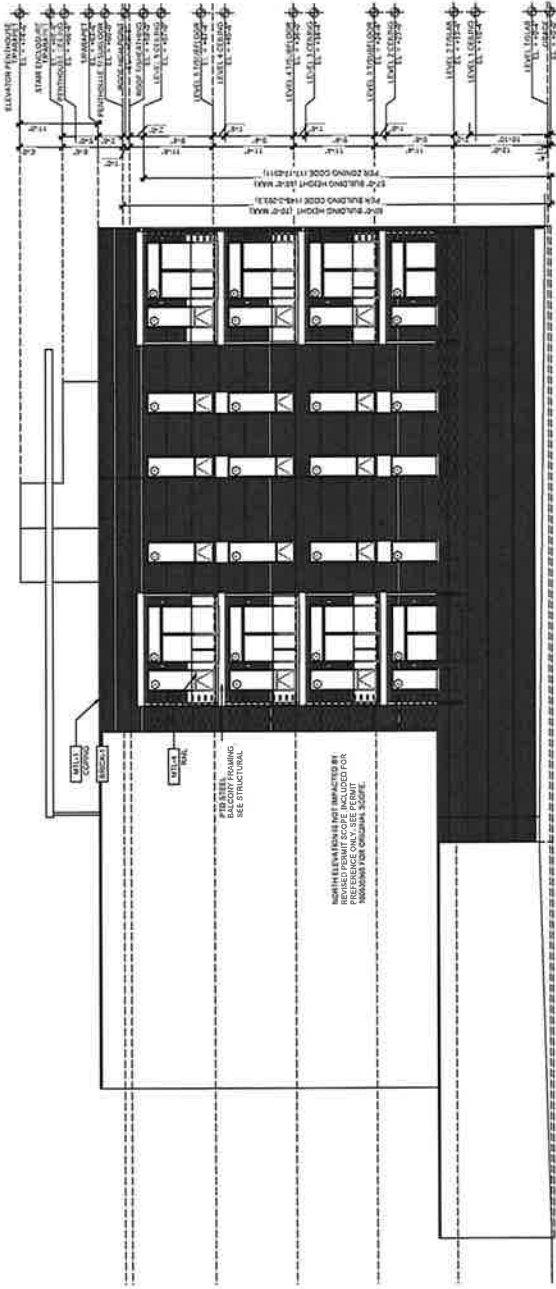
2411 N. LINCOLN
ROOF PLAN
A1.R

ARCHITECTS
1375 N. CALHOUN AVE CHICAGO, IL 60622 (773) 462-9225 (773) 469-9225

GENERAL NOTES:

1. REFER TO ALL DRAWINGS FOR THE LATEST REVISIONS.
2. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2019 CHICAGO BUILDING CODE.
3. ALL MATERIALS SHALL BE APPROVED BY THE ARCHITECT PRIOR TO INSTALLATION.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS.
5. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
6. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT AREAS.
7. ALL UTILITIES SHALL BE IDENTIFIED AND PROTECTED PRIOR TO CONSTRUCTION.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES.
9. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE SPECIFICATIONS.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS.
11. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
12. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT AREAS.
13. ALL UTILITIES SHALL BE IDENTIFIED AND PROTECTED PRIOR TO CONSTRUCTION.
14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES.
15. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE SPECIFICATIONS.
16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS.
17. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
18. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT AREAS.
19. ALL UTILITIES SHALL BE IDENTIFIED AND PROTECTED PRIOR TO CONSTRUCTION.
20. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES.

**NO WORK TO BE PERFORMED ON NORTHWEST ELEVATION.
DRAWING INCLUDED FOR REFERENCE ONLY.**



"GRADE 0'-0" = C.C.D 16.40"
1 INCH = 8 FEET
1 NORTH ELEVATION (WEST HALF)
SCALE: 1/8" = 1'-0"

2411 N. LINCOLN
NORTH ELEVATION
A3.4

JOB No. 210323
DATE: 12.01.2023

2411 N. LINCOLN
CHICAGO, IL
ALTERATION

No.	Description	Date
1	DATE CHANGE	08/08/2024

- GENERAL NOTES:**
1. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF CHICAGO ORDINANCES AND THE IBC 2021.
 2. ALL WORK SHALL BE IN ACCORDANCE WITH THE IBC 2021.
 3. ALL WORK SHALL BE IN ACCORDANCE WITH THE IBC 2021.
 4. ALL WORK SHALL BE IN ACCORDANCE WITH THE IBC 2021.
 5. ALL WORK SHALL BE IN ACCORDANCE WITH THE IBC 2021.
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 18. ALL WORK SHALL BE IN ACCORDANCE WITH THE IBC 2021.
 19. ALL WORK SHALL BE IN ACCORDANCE WITH THE IBC 2021.
 20. ALL WORK SHALL BE IN ACCORDANCE WITH THE IBC 2021.



ARCHITECTS
1135 N. CALHOUN AVE. CHICAGO, IL 60622 773.461.0020 773.461.0251