

TYPE 1 ZONING MAP AMENDMENT
NARRATIVE AND PLANS

Re: 632–658 W. 79th St., 7851–7859 S. Union Ave., 7850–7858 S. Lowe Ave.

The Applicant seeks a change in zoning from B1-2 Neighborhood Shopping District to C1-2 Neighborhood Commercial District.

The Applicant proposes to allow a general restaurant use and catering services, and public place of amusement and tavern licenses. As per Section 17-13-0303-D, the Type 1 filing will seek a variation for transit-served location parking relief as per Section 17-13-1101, and a variation as per Section 17-13-1101 to establish a public place of amusement.

Lot Area:	26,740 square feet
Floor Area Ratio (maximum):	0.5
Dwelling Units:	0 dwelling units
Off-Street Parking (minimum):	* 12 parking spaces
Front Setback (existing) (south property line / 79th Street):	0 feet
Side Setback (west property line / Union Avenue):	0 feet
Side Setback (east property line / Lowe Avenue):	5 feet / per site plan
Rear Setback (north property line):	0 feet
Building Height (zoning height):	19 feet 4 inches

*The Applicant will comply with Section 17-3-0307 Exceptions of the Chicago Air Quality Ordinance should such provision be determined to be applicable.



ARCHITECTONIC SOLUTIONS, INC.
 251 W. 10th St
 Chicago, IL 60602
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 info: info@asi.com

PEREON CERTIFY THAT THESE PLANS WERE PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A LICENSED ARCHITECT IN THE STATE OF ILLINOIS. I HEREBY CERTIFY THAT THESE PLANS COMPLY WITH ALL BUILDING CODES AND ORDINANCES.



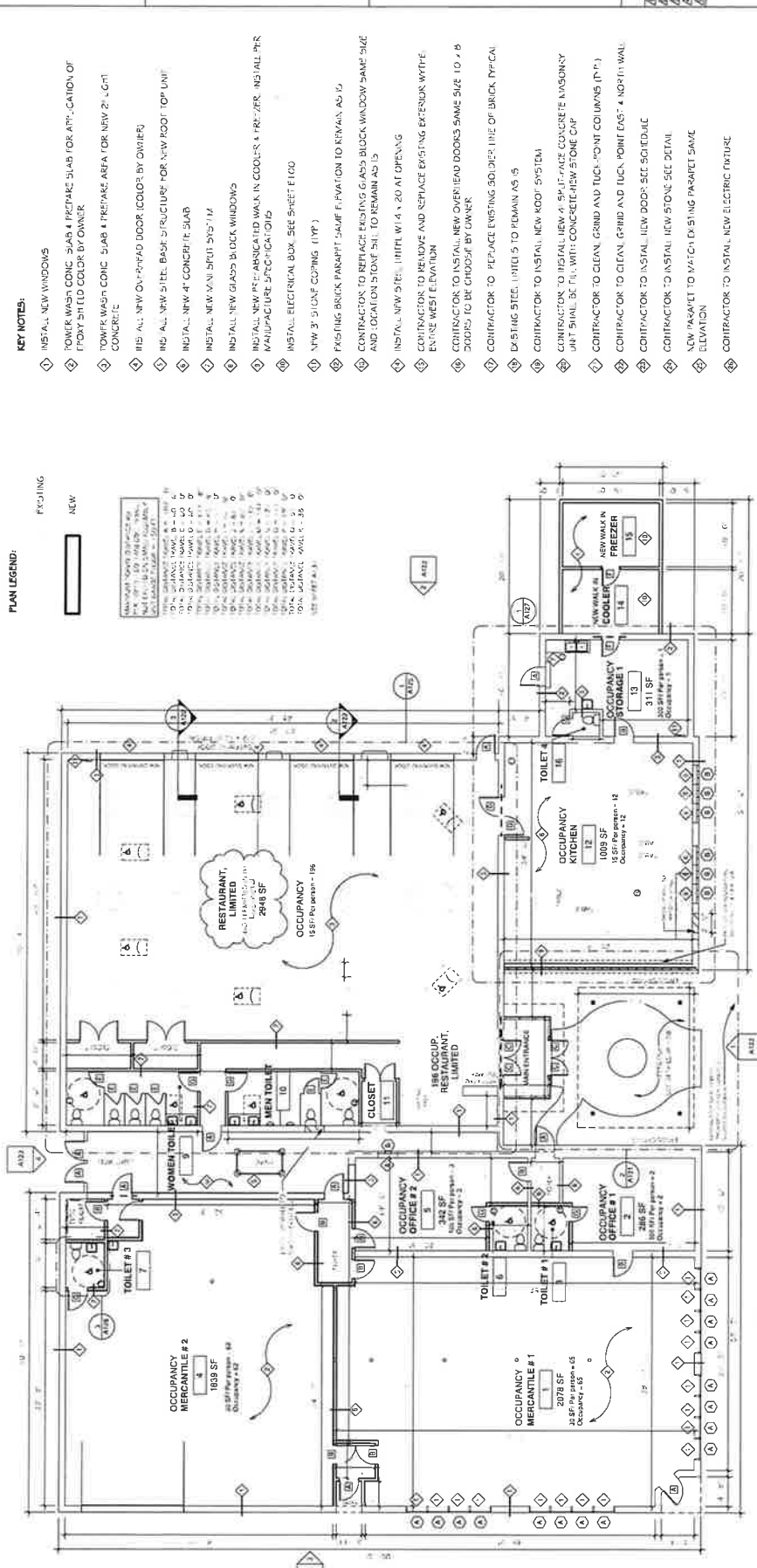
JOB TITLE:
 NEW COMMERCIAL RENOVATION

PROJECT ADDRESS:
 646-654 W. 79th

ISSUING TITLE:
 PROPOSED FLOOR PLAN

PROJECT #: ICCA-AS1-1
ISSUE DATE: 04/11/2020
DRAWN BY: J. O'NEIL
CHECKED BY: J. O'NEIL
SHEET: A120

GRAPHIC SCALE:
 1" = 8'-0"



ROOM FINISH SCHEDULE

NO.	ROOM NAME	FLOOR FINISH	CEILING	WALLS	DOORS	FIXTURES
1	RESTAURANT	CONCRETE	CONCRETE	CONCRETE	WOOD	WOOD
2	KITCHEN	CONCRETE	CONCRETE	CONCRETE	WOOD	WOOD
3	STORAGE	CONCRETE	CONCRETE	CONCRETE	WOOD	WOOD
4	OFFICE #1	CONCRETE	CONCRETE	CONCRETE	WOOD	WOOD
5	OFFICE #2	CONCRETE	CONCRETE	CONCRETE	WOOD	WOOD
6	OFFICE #3	CONCRETE	CONCRETE	CONCRETE	WOOD	WOOD
7	OFFICE #4	CONCRETE	CONCRETE	CONCRETE	WOOD	WOOD
8	OFFICE #5	CONCRETE	CONCRETE	CONCRETE	WOOD	WOOD
9	OFFICE #6	CONCRETE	CONCRETE	CONCRETE	WOOD	WOOD
10	OFFICE #7	CONCRETE	CONCRETE	CONCRETE	WOOD	WOOD
11	OFFICE #8	CONCRETE	CONCRETE	CONCRETE	WOOD	WOOD
12	OFFICE #9	CONCRETE	CONCRETE	CONCRETE	WOOD	WOOD
13	OFFICE #10	CONCRETE	CONCRETE	CONCRETE	WOOD	WOOD
14	OFFICE #11	CONCRETE	CONCRETE	CONCRETE	WOOD	WOOD
15	OFFICE #12	CONCRETE	CONCRETE	CONCRETE	WOOD	WOOD
16	OFFICE #13	CONCRETE	CONCRETE	CONCRETE	WOOD	WOOD
17	OFFICE #14	CONCRETE	CONCRETE	CONCRETE	WOOD	WOOD
18	OFFICE #15	CONCRETE	CONCRETE	CONCRETE	WOOD	WOOD
19	OFFICE #16	CONCRETE	CONCRETE	CONCRETE	WOOD	WOOD
20	OFFICE #17	CONCRETE	CONCRETE	CONCRETE	WOOD	WOOD
21	OFFICE #18	CONCRETE	CONCRETE	CONCRETE	WOOD	WOOD
22	OFFICE #19	CONCRETE	CONCRETE	CONCRETE	WOOD	WOOD
23	OFFICE #20	CONCRETE	CONCRETE	CONCRETE	WOOD	WOOD
24	OFFICE #21	CONCRETE	CONCRETE	CONCRETE	WOOD	WOOD
25	OFFICE #22	CONCRETE	CONCRETE	CONCRETE	WOOD	WOOD
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EXHIBIT REQUIREMENTS

NO.	DESCRIPTION	DATE	STATUS
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78	PROPOSED FLOOR PLAN	04/11/2020	ISSUED
79	PROPOSED FLOOR PLAN	04	



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I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A LICENSED ARCHITECT IN THE STATE OF ILLINOIS. I AM NOT PROVIDING THESE PLANS TO ANY OTHER PARTY WITHOUT YOUR WRITTEN CONSENT.
 OFFICE OF PROFESSIONAL REGULATION AND BOARD OF ARCHITECTS
 BUILDING CODES AND ORDINANCES



DATE: 11/14/2023
 PROJECT: 23010001
 SHEET: 11/23/2023

JOB TITLE: **NEW COMMERCIAL RENOVATION**

PROJECT ADDRESS: **646 654 W. 79th**

PROJECT # 1000 4317
 SPEC DATE 04/15/23
 DRAWN BY A. Ang
 CHECKED BY D. Ang

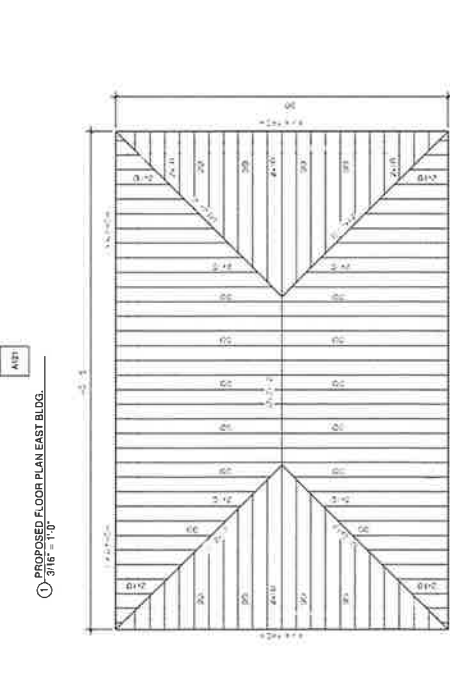
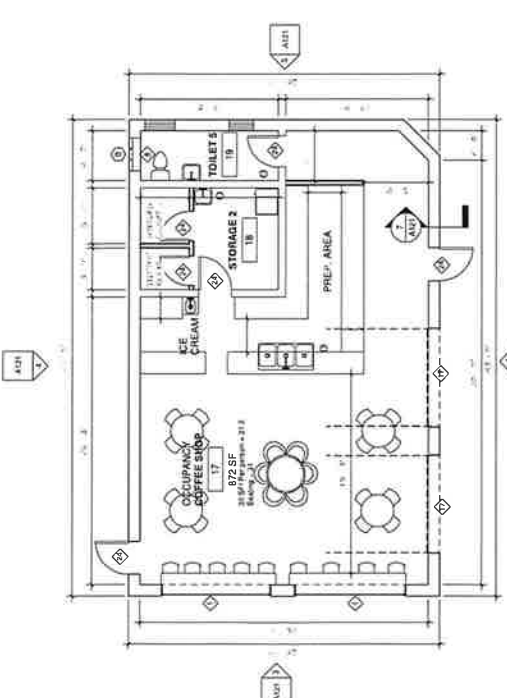
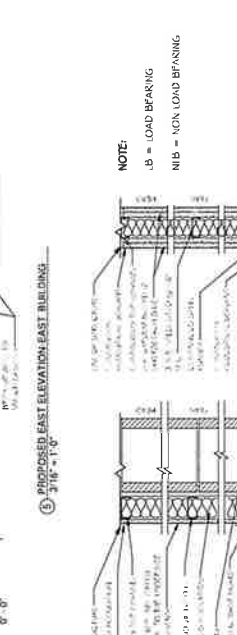
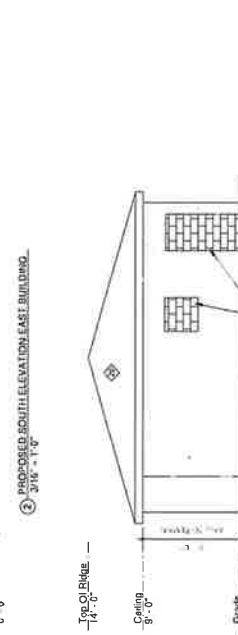
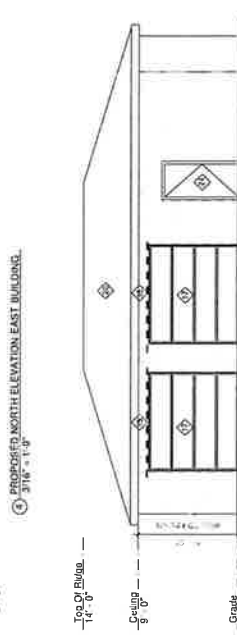
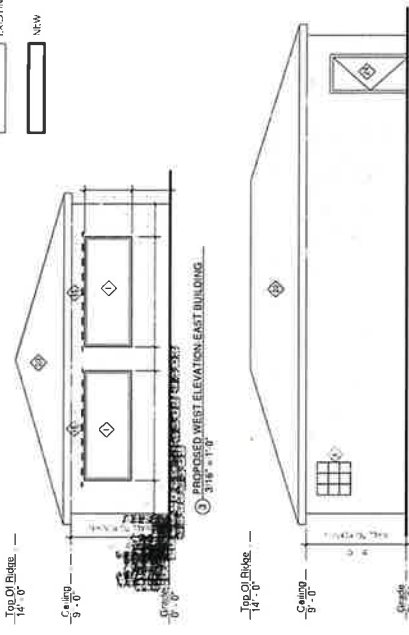
PROPOSED PLAN ELEVATIONS & NOTES - EAST BUILDING

A121

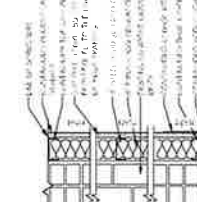
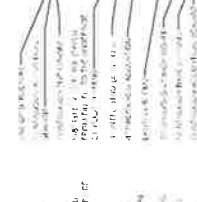
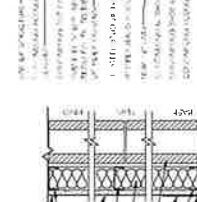
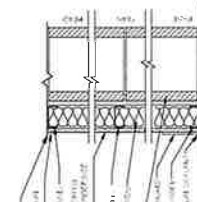
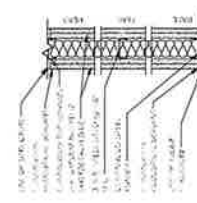
KEY NOTES:

- 1. INSTALL NEW WINDOWS.
- 2. POWER WASH CONC. SLAB & PREPARE SLAB FOR APPLICATION OF 1" THICK 5/8" FIELD COLOR BY OWNER.
- 3. POWER WASH CONC. SLAB & PREPARE AREA FOR NEW 2" LIGHT CONCRETE.
- 4. INSTALL NEW OVERHEAD DOOR (COLOR BY OWNER).
- 5. INSTALL NEW SITE BASE STRUCTURE FOR NEW ROOF TOP UNIT.
- 6. INSTALL NEW 4" CONCRETE SLAB.
- 7. INSTALL NEW MINI-SPLIT SYSTEM.
- 8. INSTALL NEW GLASS BLOCK WINDOWS.
- 9. INSTALL NEW WOOD BAR.
- 10. INSTALL NEW PREFABRICATED WALK-IN COOLER & FREEZER. INSTALL PER MANUFACTURER SPECIFICATIONS.
- 11. INSTALL ELECTRICAL BOX. SEE SHEET E-100.
- 12. NEW 3" STONE COPING (TYP).
- 13. EXISTING BRICK PARAPET SAME ELEVATION TO REMAIN AS IS.
- 14. CONTRACTOR TO REPLACE EXISTING GLASS BLOCK WINDOW SAME SIZE AND LOCATION STONE SILL TO REMAIN AS IS.
- 15. INSTALL NEW STEEL UNITS W/ 4" x 20" AT OPENING.
- 16. CONTRACTOR TO REMOVE AND REPLACE EXISTING EXTERIOR W/TIC-ENTRANCE WEST ELEVATION.
- 17. CONTRACTOR TO INSTALL NEW OVERHEAD DOORS SAME SIZE: 10' x 6' DOORS TO BE CHOSEN BY OWNER.
- 18. CONTRACTOR TO REPLACE EXISTING SOLDER LINE OF BRICK TYPICAL.
- 19. EXISTING STEEL UNITS TO REMAIN AS IS.
- 20. CONTRACTOR TO INSTALL NEW ROOF SYSTEM.
- 21. CONTRACTOR TO INSTALL NEW 2" SPLIT-FACE CONCRETE MASONRY UNIT (SHALL BE FILL WITH CONCRETE NEW STONE CAP).
- 22. CONTRACTOR TO CLEAN, GRIND AND TUCKPOINT COLUMNS (TYP).
- 23. CONTRACTOR TO CLEAN, GRIND AND TUCKPOINT TAIL & NORTH WALL.
- 24. CONTRACTOR TO INSTALL NEW SHOWER. SEE DET. A1.
- 25. NEW PARAPET TO MATCH EXISTING PARAPET SAME ELEVATION.
- 26. CONTRACTOR TO INSTALL NEW ELECTRIC FUTURE.

PLAN LEGEND:



NOTE:
 12 = LOAD BEARING
 18 = NON LOAD BEARING



SECTION 1:
 3/8\"/>

SECTION 2:
 3/8\"/>

SECTION 3:
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SECTION 4:
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SECTION 5:
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SECTION 6:
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SECTION 7:
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DAVID R. SMITH
 PE
 No. 001-119822

DATE	11/20/2018
BY	DAVID R. SMITH
CHECKED BY	
APPROVED BY	
PROJECT #	
PROJECT NAME	
CLIENT	
LOCATION	
DESCRIPTION	
SCALE	
STATUS	

JOB TITLE:
NEW COMMERCIAL RENOVATION

PROJECT ADDRESS:
646-654 W. 79th

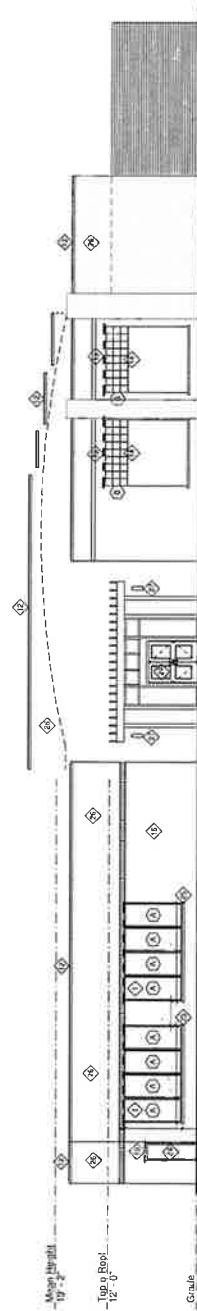
DRAWING TITLE:
PROPOSED ELEVATIONS NOTES & DETAILS

PROJECT #	1004-1311-2
DATE	11/20/18
DRAWN BY	A. J. SMITH
CHECKED BY	D. R. SMITH

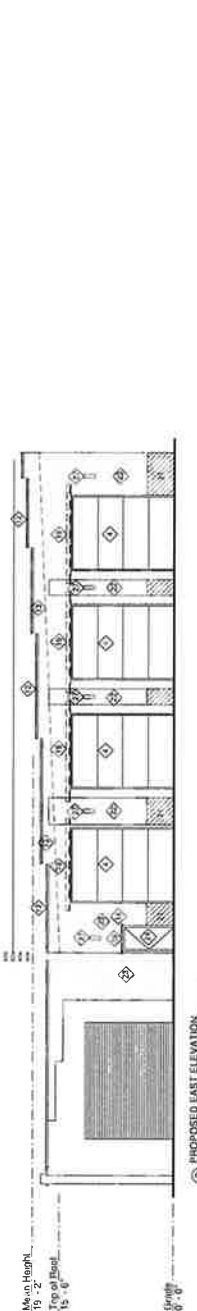
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- KEY NOTES:**
- 1. INSTALL NEW WINDOWS
 - 2. PRIME WASH CONC. SLAB & PREPARE SLAB FOR APPLICATION OF EPOXY-SHIELD COATING BY OWNER
 - 3. FORM, WASH CONC. SLAB & PREPARE AP. A FOR NEW 2 LIGHT CONCRETE
 - 4. INSTALL NEW OVERHEAD DOOR (COLOR BY OWNER)
 - 5. INSTALL NEW STEEL BAST STRUCTURE FOR NEW ROOF TOP UNIT
 - 6. INSTALL NEW 4" CONCRETE SLAB
 - 7. INSTALL NEW INS-SHIT SYSTEM
 - 8. INSTALL NEW GLASS BLOCK WINDOWS
 - 9. INSTALL NEW WOOD SKR
 - 10. INSTALL NEW PREFABRICATED WALK IN COOLER & FREEZER. INSTALL PER MANUFACTURER SPECIFICATIONS
 - 11. INSTALL ELECTRICAL BOX. SEE 9-C101 E1.00
 - 12. NEW 3" STONE COPING (TYP)
 - 13. EXISTING BRICK PARAPET SAME ELEVATION TO REMAIN AS IS
 - 14. CONTRACTOR TO REPLACE EXISTING GLASS BLOCK WINDOW SAME SIZE AND LOCATION STONE SHL TO REMAIN AS IS.
 - 15. INSTALL NEW STEEL LVL W: 4" x 20" AT OPENING
 - 16. CONTRACTOR TO REMOVE AND REPLACE EXISTING EXTERIOR W/TC. FINIRE WEST ELEVATION
 - 17. CONTRACTOR TO INSTALL NEW OVERHEAD DOORS SAME SIZE 10' x 8' DOORS TO BE CHOICE BY OWNER
 - 18. CONTRACTOR TO REPLACE EXISTING SOLID LINE OF BRICK TYPICAL
 - 19. EXISTING STEEL LINTELS TO REMAIN AS IS
 - 20. CONTRACTOR TO INSTALL NEW ROOF SYSTEM
 - 21. CONTRACTOR TO INSTALL NEW 4" SPLICE CONCRETE MASONRY UNIT SHALL BE FILL WITH CONCRETE NEW STONE CAP
 - 22. CONTRACTOR TO CLEAN, GRIND AND TUCK POINT CEMENT & MORTAR WALL
 - 23. CONTRACTOR TO CLEAN, GRIND AND TUCK POINT CEMENT & MORTAR WALL
 - 24. CONTRACTOR TO INSTALL NEW DOOR SET. SEE DETAIL
 - 25. NEW PARAPET TO MATCH EXISTING PARAPET SAME ELEVATION
 - 26. CONTRACTOR TO INSTALL NEW ELEC. FIGURE

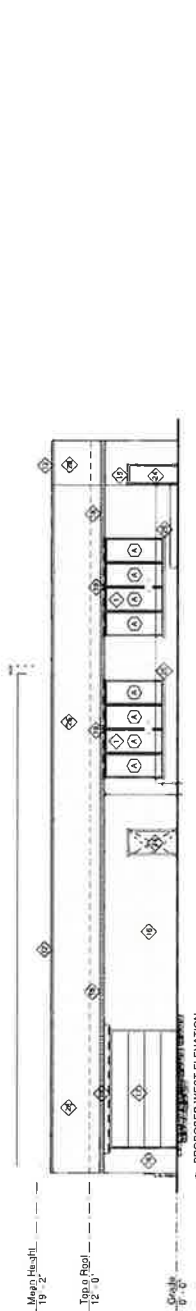
NOTE:
 10 - LOAD BEARING
 NUB - NON-LOAD BEARING



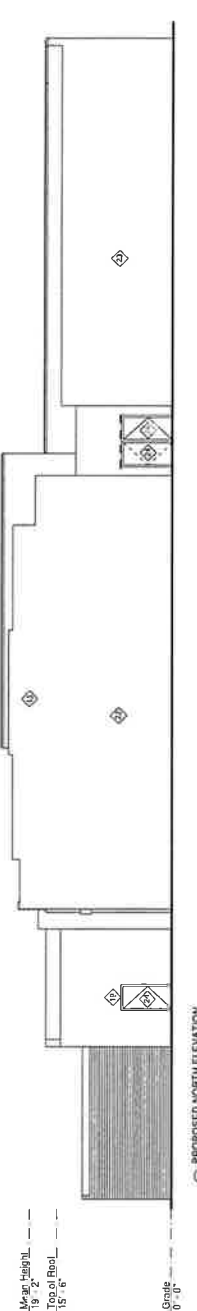
1. PROPOSED SOUTH ELEVATION
 1/8" = 1'-0"



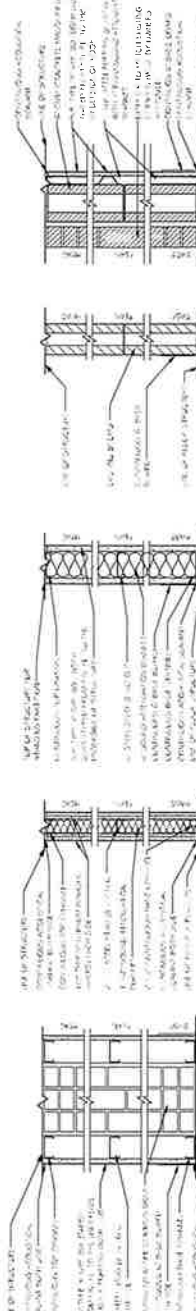
2. PROPOSED EAST ELEVATION
 1/8" = 1'-0"



3. PROPOSED WEST ELEVATION
 1/8" = 1'-0"



4. PROPOSED NORTH ELEVATION
 1/8" = 1'-0"



5. TYPE 5 WALL DETAIL
 12" x 12" - 10"
 LB W-12 - M2 10HR
 NUB W-12 - M2 10HR

4. TYPE 4 WALL DETAIL
 12" x 12" - 10"
 LB W-12 - M2 10HR
 NUB W-12 - M2 10HR

3. TYPE 3 WALL DETAIL
 12" x 12" - 10"
 LB U-906 - 2HR
 NUB U-906 - 2HR

2. TYPE 2 WALL DETAIL
 12" x 12" - 10"
 LB U-902 - 4HR
 NUB U-902 - 4HR

1. TYPE 1 WALL DETAIL
 12" x 12" - 10"
 U465 1HR NUB



GRAPHIC SCALE