

# 22234  
INTRO DATE  
JULY 19, 2023

CITY OF CHICAGO

APPLICATION FOR AN AMENDMENT TO  
THE CHICAGO ZONING ORDINANCE

1. ADDRESS of the property Applicant is seeking to rezone:  
2739 South Shields Avenue

2. Ward Number that property is located in: 11th Ward

3. APPLICANT Wai Gat Kuo

ADDRESS [REDACTED] CITY [REDACTED]

STATE IL ZIP CODE [REDACTED] PHONE [REDACTED]

EMAIL jpikarski@gordonpikarski.com CONTACT PERSON John Pikarski, Jr. or Tom Pikarski

4. Is the applicant the owner of the property? YES  X  NO   
If the applicant is not the owner of the property, please provide the following information regarding the owner and attach written authorization from the owner allowing the application to proceed.

OWNER \_\_\_\_\_

ADDRESS \_\_\_\_\_ CITY \_\_\_\_\_

STATE \_\_\_\_\_ ZIP CODE \_\_\_\_\_ PHONE \_\_\_\_\_

EMAIL \_\_\_\_\_ CONTACT PERSON \_\_\_\_\_

5. If the Applicant/Owner of the property has obtained a lawyer as their representative for the rezoning, please provide the following information:

ATTORNEY Gordon and Pikarski, Chartered

ADDRESS 55 West Monroe Street, Suite 940

CITY Chicago STATE Illinois ZIP CODE 60603

PHONE (312) 782-9351 FAX (312) 521-7003 EMAIL jpikarski@gordonpikarski.com

6. If the applicant is a legal entity (Corporation, LLC, Partnership, etc.) please provide the names of all owners as disclosed on the Economic Disclosure Statements.

N/A

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7. On what date did the owner acquire legal title to the subject property? 2021

8. Has the present owner previously rezoned this property? If yes, when?

No.

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9. Present Zoning District RS-3 Proposed Zoning District RT-4

10. Lot size in square feet (or dimensions) 26 x 124 = 3,224 square feet

11. Current Use of the property Vacant

12. Reason for rezoning the property Applicant proposes to construct a building containing three residential dwelling units and to comply with the bulk and density requirements of the RT-4, Residential Two-Flat Townhouse and Multi-Unit District.

13. Describe the proposed use of the property after the rezoning. Indicate the number of dwelling units; number of parking spaces; approximate square footage of any commercial space; and height of the proposed building. (BE SPECIFIC)  
Applicant proposes to construct a building that will be 38 feet in height and contains Three residential dwelling units and three parking spaces. No commercial is proposed.

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14. The Affordable Requirements Ordinance (ARO) requires on-site affordable housing units and/or a financial contribution for residential housing projects with ten or more units that receive a zoning change which, among other triggers, increases the allowable floor area, or, for existing Planned Developments, increases the number of units (see attached fact sheet or visit [www.cityofchicago.org/ARO](http://www.cityofchicago.org/ARO) for more information). Is this project subject to the ARO?

YES \_\_\_\_\_ NO X

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COUNTY OF COOK  
STATE OF ILLINOIS

Wai Gai Kuo, being first duly sworn on oath, states that all of the above statements and the statements contained in the documents submitted herewith are true and correct.

  
Signature of Applicant

Subscribed and Sworn to before me this  
June 19 day of \_\_\_\_\_, 20 23.

  
Notary Public

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For Office Use Only

Date of Introduction: \_\_\_\_\_

File Number: \_\_\_\_\_

Ward: \_\_\_\_\_

PROFESSIONALS ASSOCIATED  
 PHONE: (847) 675-3000  
 FAX: (847) 675-2167  
 E-MAIL: pa@professionalsassociated.com  
 www.professionalsassociated.com

# PROFESSIONALS ASSOCIATED - MM SURVEY CO.

BOUNDARY \* ALTA \* TOPOGRAPHIC \* CONDOMINIUM SURVEYS  
 7100 NORTH TRIPP AVENUE, LINCOLNWOOD, ILLINOIS 60712  
 PROFESSIONAL DESIGN FIRM NO. 184-003023

MM SURVEY  
 PHONE: (773) 282-5900  
 FAX: (773) 282-9424  
 E-MAIL: info@MMSurveyingChicago.com  
 www.mmsurveyingchicago.com

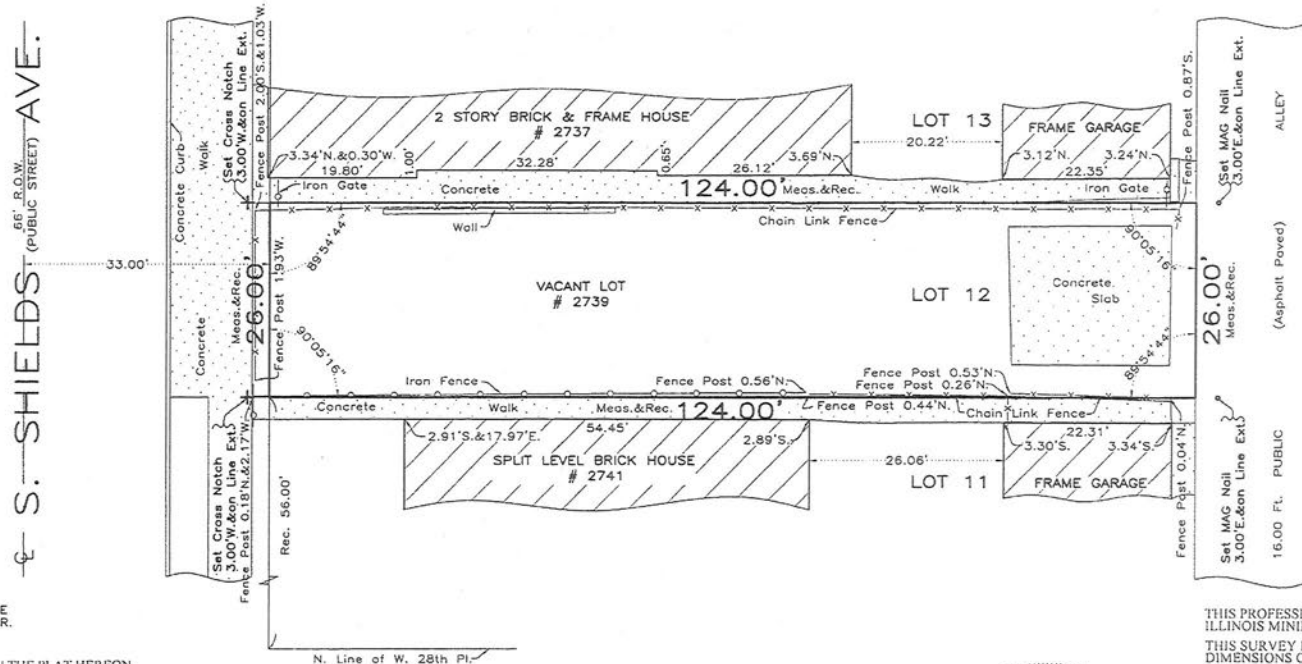
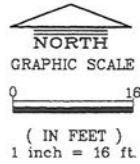
## PLAT OF SURVEY

OF

LOT 12 IN G.L. CRUM'S SUBDIVISION OF LOTS 10 AND 15 IN BLOCK 3 AND LOTS 13 AND 14 IN BLOCK 4 IN THE UNITED STATES BANK ADDITION TO CHICAGO IN SECTION 28, TOWNSHIP 39 NORTH, RANGE 14, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

TOTAL NET ATEA: 3,224 SQ. FT. = 0.074 ACRES

COMMONLY KNOWN AS: 2739 SOUTH SHIELDS AVENUE, CHICAGO, ILLINOIS.



NOTE:  
 COPY OF CURRENT TITLE INSURANCE  
 POLICY NOT PROVIDED TO SURVEYOR.

THE LEGAL DESCRIPTION SHOWN ON THE PLAT HEREON  
 DRAWN IS A COPY OF THE ORDER, AND FOR ACCURACY  
 SHOULD BE COMPARED WITH THE TITLE OR DEED.  
 DIMENSIONS ARE NOT TO BE ASSUMED FROM SCALING.  
 BUILDING LINES AND EASEMENTS ARE SHOWN ONLY WHERE  
 THEY ARE SO RECORDED IN THE MAPS, OTHERWISE REFER TO  
 YOUR DEED OR ABSTRACT.

Order No. 23-101160  
 Scale: 1 inch = 16 feet.  
 Date of Field Work: March 15, 2023.  
 Ordered by: GORDON & PIKARSKI  
 Attorneys at Law

THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT  
 ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY.

THIS SURVEY HAS BEEN ORDERED FOR SURFACE  
 DIMENSIONS ONLY, NOT FOR ELEVATIONS.  
 THIS IS NOT AN ALTA SURVEY.

COMPARE ALL POINTS BEFORE BUILDING BY SAME AND  
 AT ONCE REPORT ANY DIFFERENCE.

State of Illinois  
 County of Cook

We, PROFESSIONALS ASSOCIATED - MM SURVEY CO, do hereby  
 certify that we have surveyed the above described property and that,  
 to the best of our knowledge, the plat hereon drawn is an accurate  
 representation of said survey.

Date: March 29, 2023.

*Hylton E. Donaldson*  
 IL. PROF. LAND SURVEYOR - LICENSE EXP. DATE NOV. 30, 2024.  
 Drawn by: JR



**FORM OF AFFIDAVIT**

July 19, 2023

Honorable Thomas M. Tunney  
Chairman, Committee on Zoning  
City Hall - Room 304  
121 N. LaSalle St.  
Chicago IL 60602

The undersigned, John J. Pikarski, Jr. being first duly sworn under oath, deposes and states the following:


That the undersigned certifies they have complied with the requirements of Section 17-13-0107A of the Chicago Zoning Ordinance, Title 17 of the Municipal Code of Chicago, by sending written notice to such property owners who appear to be the owners of all property within 250 feet in each direction of the lot line of the subject property, exclusive of public roads, streets, alleys and other public ways, or a total distance limited to 400 feet. Said "written notice" was sent by First Class U.S. Mail, no more than 30 days before filing the application.

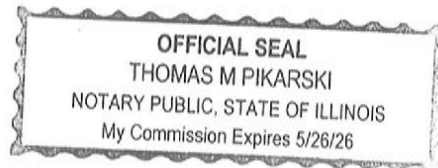
The undersigned certifies that the notice contained the address of the property sought to be rezoned; a statement of the intended use of the property; the name and address of the applicant; the name and address of the owner; and a statement that the applicant intends to file the application for a change in zoning on approximately July 19, 2023.

The undersigned certifies that the applicant has made a bona fide effort to determine the addresses of the parties to be notified under Section 17-13-0107 of the Chicago Zoning Ordinance, and that the accompanying list of names and addresses of surrounding property owners within 250 feet of the subject site is a complete list containing the names and addresses of the people required to be served.

  
Signature

Subscribed and sworn to before me this 19<sup>th</sup> day of June, 2023.

  
Notary Public



**GORDON AND PIKARSKI**

CHARTERED  
ATTORNEYS AT LAW  
SUITE 940  
55 WEST MONROE STREET  
CHICAGO, ILLINOIS 60603

JOHN J. PIKARSKI, JR.  
MAUREEN C. PIKARSKI  
THOMAS M. PIKARSKI

DANIEL G. PIKARSKI  
MORTON A. GORDON (1928-2012)

July 19, 2023

Dear Property Owner:

I am writing to notify you that on behalf of my client and the Applicant, Wai Gat Kuo, I will file on or about July 19, 2023, an application for the change in Zoning designation from the RS-3 Residential Single-Unit (Detached House) District to a RT-4 Residential Two-Flat Townhouse and Multi-Unit District under the Zoning Ordinance, specifically Section 17-13-0107 for the property commonly known as 2739 South Shields Avenue and more specifically described as:

A line 82 feet north of and parallel to West 28<sup>th</sup> Place; the public alley next east of South Shields Avenue; a line 56 feet north of and parallel to West 28<sup>th</sup> Place; and South Shields Avenue.

The Zoning Amendment is sought to improve the vacant lot with a new construction building containing three residential dwelling units.

Please note that the applicant is not seeking to purchase or amend the zoning of your property. The applicant is required by law to send this notice because you own property within 250 feet of 2739 South Shields Avenue.

Legal Title to the property is held by the Applicant and owner is Wai Gat Kuo of [REDACTED]

Very truly yours,



Thomas M. Pikarski

TMP/jw