

**ZONING NARRATIVE AND PLANS
TYPE-1 MAP AMENDMENT AT
4023-27 South Vincennes Avenue
From RT-4 to RM-5**

The applicant, Mr. Jaroslaw Madry, is seeking approval of a Type-1 Map Amendment from RT-4 Residential Two-Flat, Townhouse and Multi-Unit District to that of a RM-5 Residential Multi-Unit District in order to allow the subdivision of the 50.0 ft. lot into two 25.0 ft. zoning lots in order to construct a new 4,515.0 sq. ft. three-story, three dwelling-unit residential building with a proposed building height is 30.2 feet and three off-street parking spaces located at the rear of the property on lot# 11 and to continue use of the adjacent existing 3-story, 3-dwelling unit w/ basement and 3 off-street parking spaces at the rear of the property located at 4023 S. Vincennes Ave with a building height of 37'4".

Proposed Building:

Lot Area: 3,250.0 sq. ft.

Floor Area Ratio: Proposed 1.44

Building Size: 4,515.0 sq. ft.

Density: 3 dwelling units X 1,505.0 sq. ft.

Off-Street Parking Spaces: Three

Setbacks:

Front Yard 13.72 feet east
Side Yard 3.0 feet north
Side Yard 2.0 feet south
Rear Yard 41.0 feet west

Rear Yard Open Space: 218.0 sq. ft.

Building Height: 30.02 ft.

Existing Building:

Lot Area: 3,250.0 sq. ft.

Floor Area Ratio: Existing 1.3

Building Size: 4,983.0 sq. ft.
(including basement: 1,245.75 sq. ft.)

Density: 3 dwelling units X 1,245.75

Off-Street Parking Spaces: Three

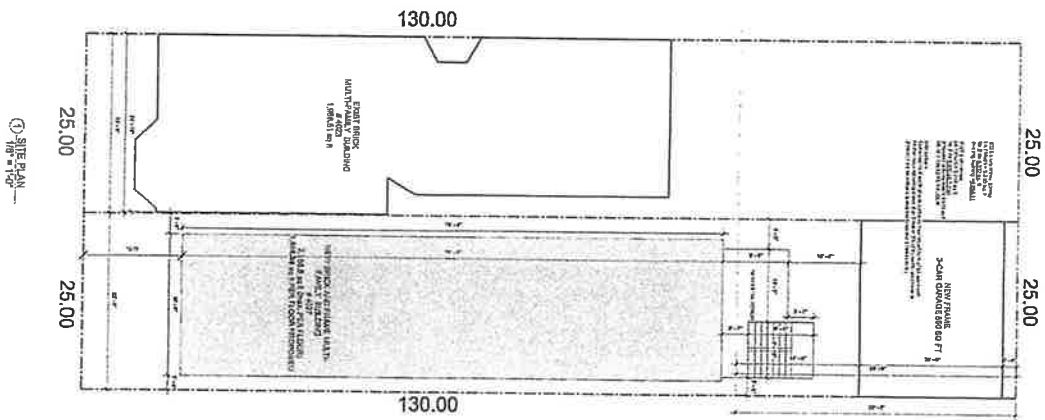
Setbacks:

Front Yard 10.0 feet east
Side Yard 0.0 feet north
Side Yard 0.0 feet south
Rear Yard 30.3 feet west

Rear Yard Open Space: 408.0 sq. ft.

Building Height: 37'4" ft. with basement

***Seeking Type-1 Section 17-13-0303-D Optional Administrative Adjustment and Variation to reduce the required 2.5 ft. to 0.0 ft. south side setback.**



① SITE PLAN
1/8" = 1'-0"

NEW MULTI UNIT BUILDING WITH REAR PORCH



TITLE: **A1.1**

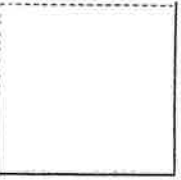
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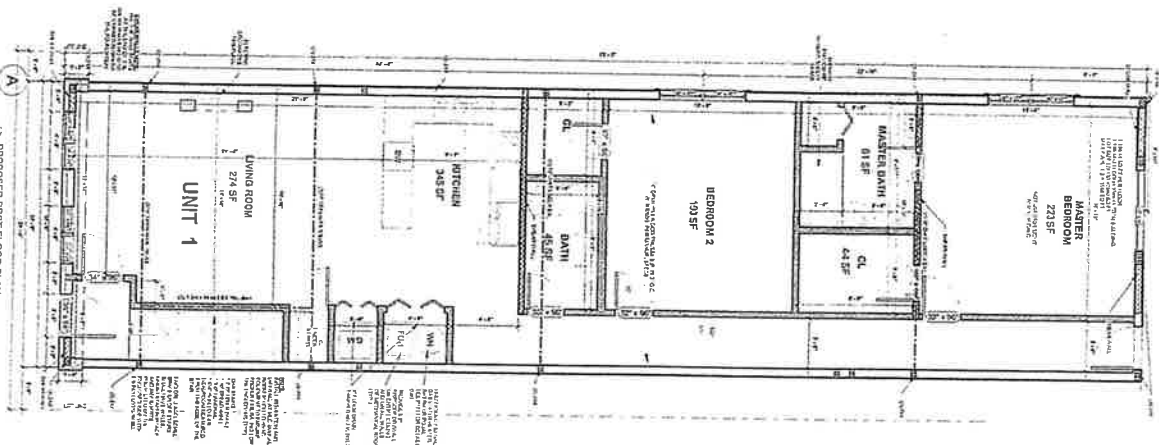
OWNER:
ADDRESS:
DRAWN BY:

NEW THREE UNIT BUILDING WITH REAR PORCH
427 S. VINCENNES AVE., CHICAGO

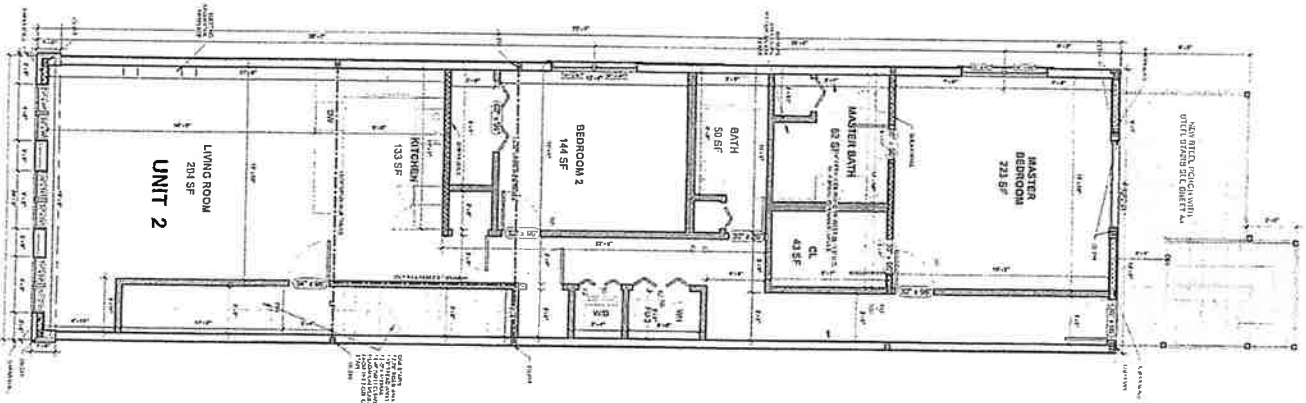


REVISION DATE:	
NO.	DESCRIPTION

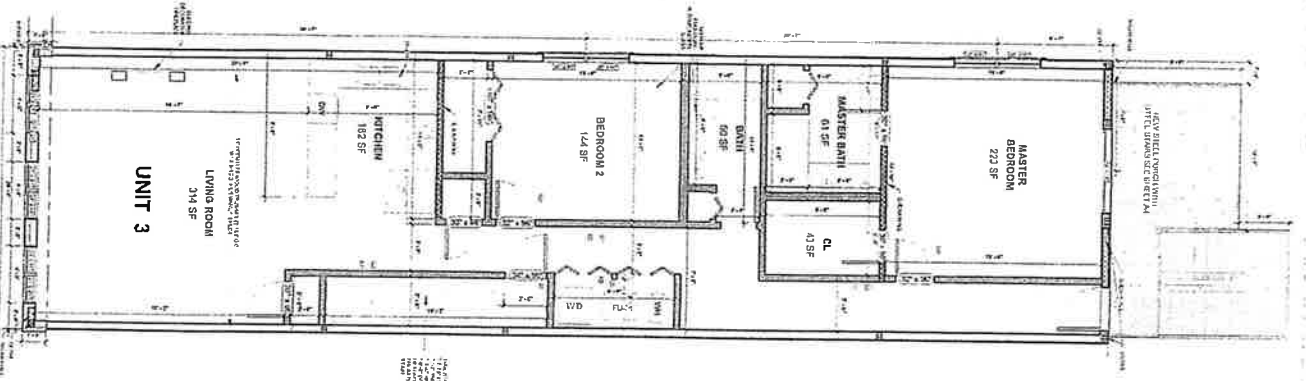




2) PROPOSED FIRST FLOOR PLAN
1/4" = 1'-0"



3) PROPOSED SECOND FLOOR PLAN
1/4" = 1'-0"



4) PROPOSED THIRD FLOOR PLAN
1/4" = 1'-0"



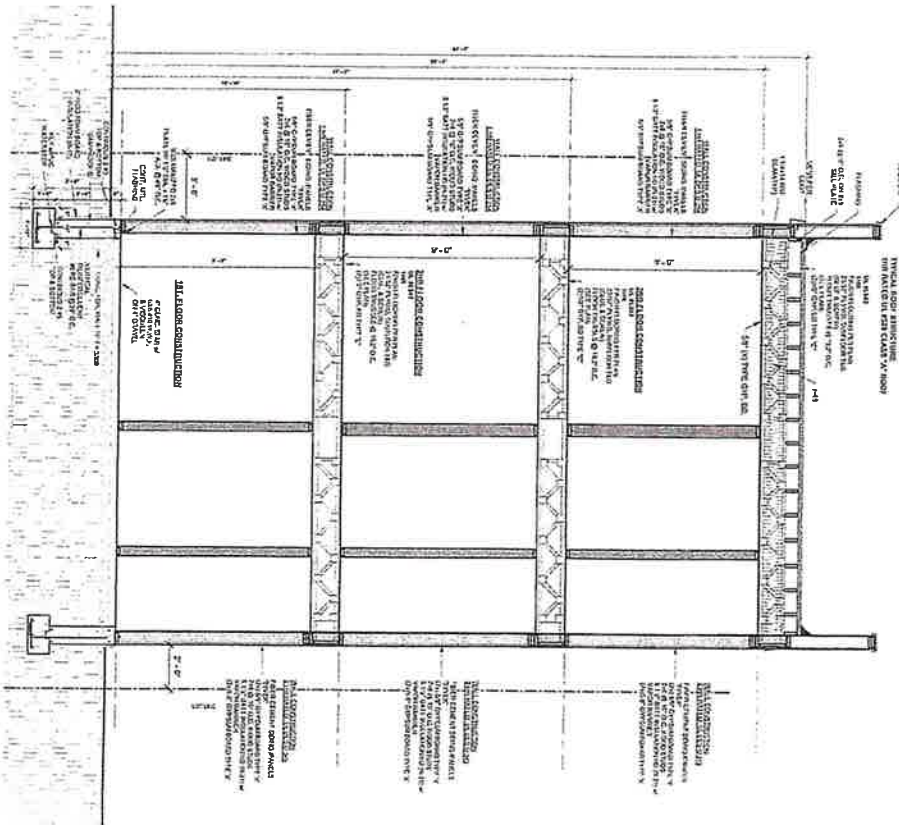
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PROPOSED FLOOR PLANS
A2

DATE	BY

NEW THREE UNIT BUILDING WITH REAR PORCH
427 S. VERNON AVE. CHICAGO



ISSUE DATE:	
DATE	DESCRIPTION



Section 1
SB 9-19



THREAT XV
A6

DRAWING LIST
WALL SECTION

DATE	
DESIGNED BY	AA
CHECKED BY	
APPROVED BY	

NEW THREE UNIT BUILDING WITH REAR PORCH
427 S. VINCENNES AVE, CHICAGO



ISSUE DATE	
NO.	DATE

ELEVATION GENERAL NOTES:

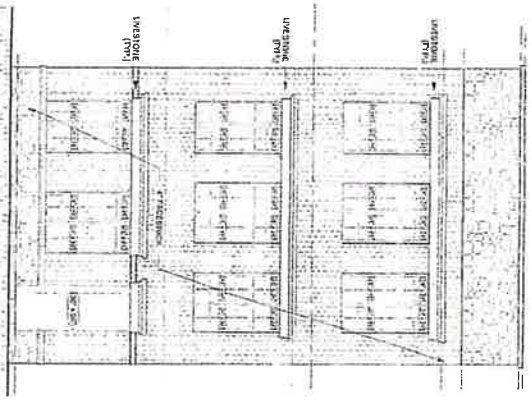
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 2. ALL DIMENSIONS SHALL BE TO FINISH SURFACE UNLESS OTHERWISE NOTED.
 3. ALL MATERIALS SHALL BE AS SHOWN OR AS NOTED.
 4. ALL FINISHES SHALL BE AS SHOWN OR AS NOTED.
 5. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF CHICAGO CODES AND ORDINANCES.
 6. ALL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL BUILDING CODE AND INTERNATIONAL RESIDENTIAL CODE BOOK.
 7. ALL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE AND NATIONAL FIRE ALARM AND SIGNALING CODE.
 8. ALL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL MECHANICAL CODE AND NATIONAL PLUMBING CODE.
 9. ALL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL SANITARY AND HEATING ENGINEERING CODE AND NATIONAL GAS CODE.
 10. ALL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL SAFETY CODE AND NATIONAL ELECTRICAL SAFETY CODE.
 11. ALL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL CONSTRUCTION CODE AND NATIONAL CONSTRUCTION CODE BOOK.
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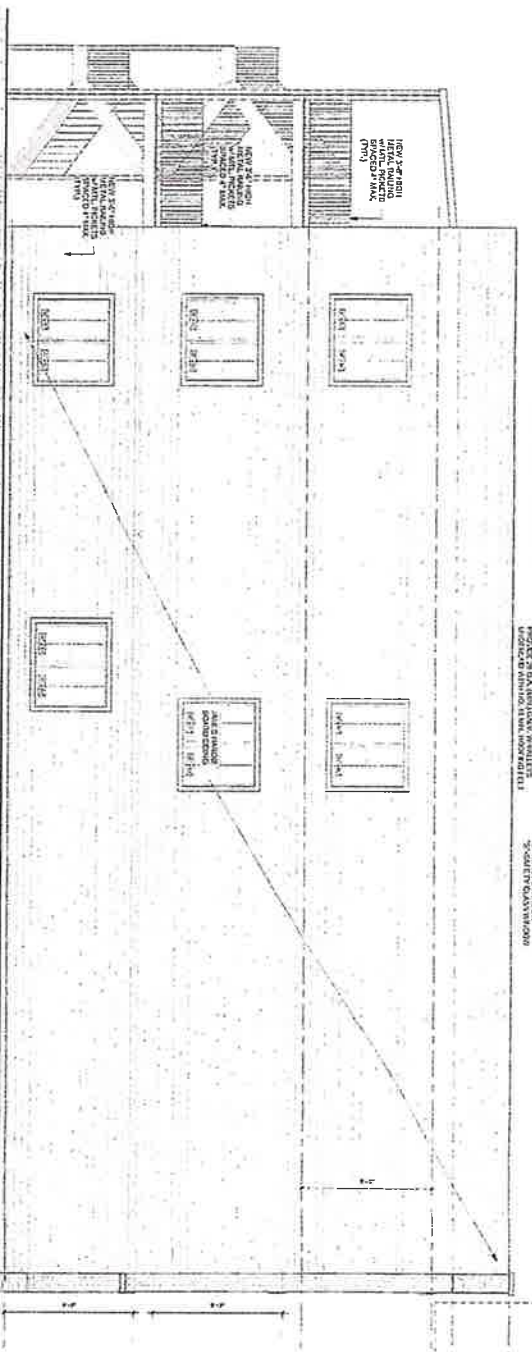
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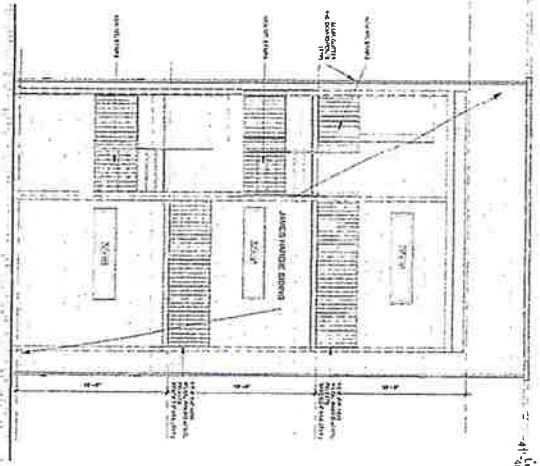
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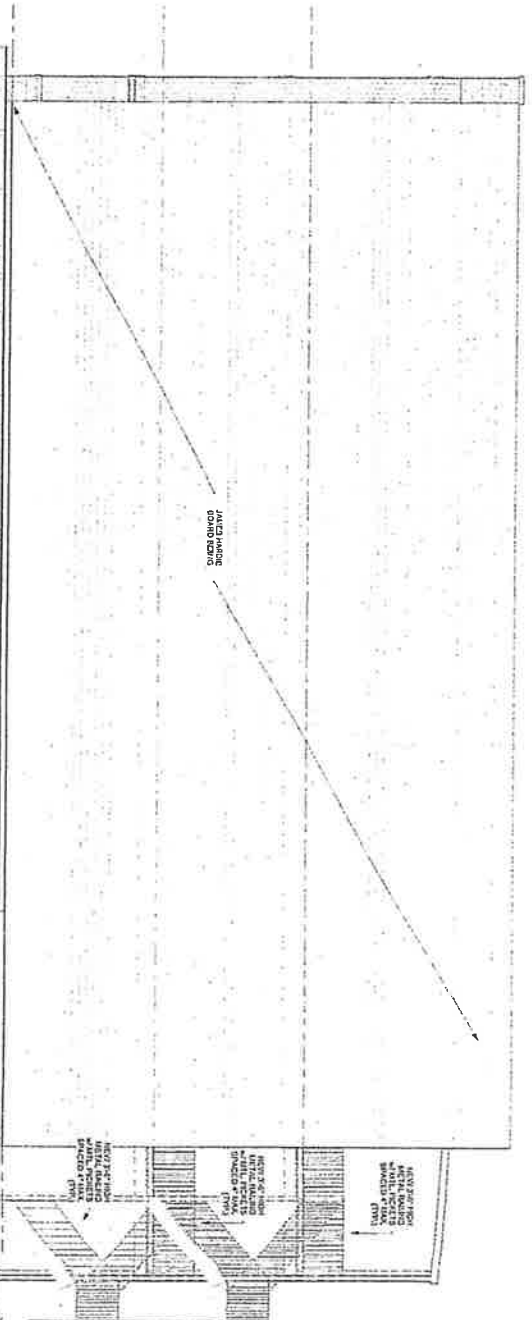
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1/4" = 1'-0"



② S ELEVATION
1/4" = 1'-0"



③ W ELEVATION
1/4" = 1'-0"



④ N ELEVATION
1/4" = 1'-0"



ARCHITECT
A7

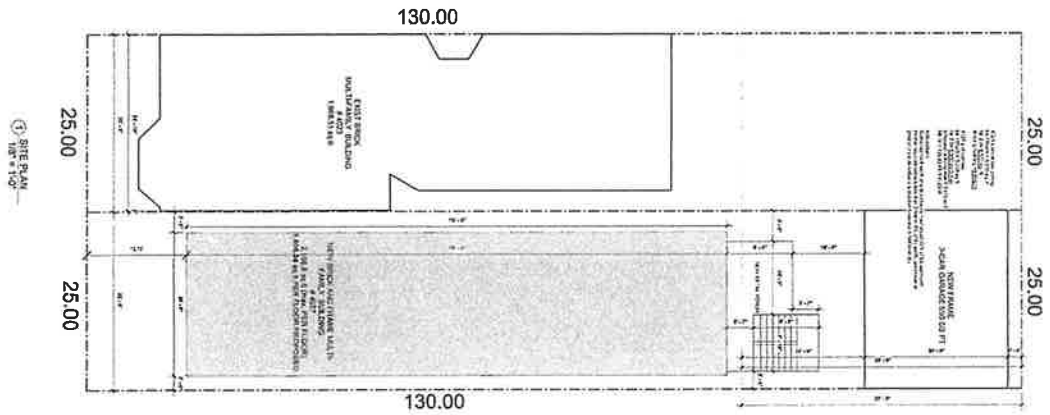
DRAWING LIST
ELEVATIONS

NO.	DATE	BY	CHKD.
1			
2			
3			

NEW THREE UNIT BUILDING WITH REAR PORCH
 427 S. VIRGINNES AVE. CHICAGO



ISSUE DATE:	NO.	DESCRIPTION



NEW MULTI UNIT BUILDING WITH REAR PORCH



A1.1

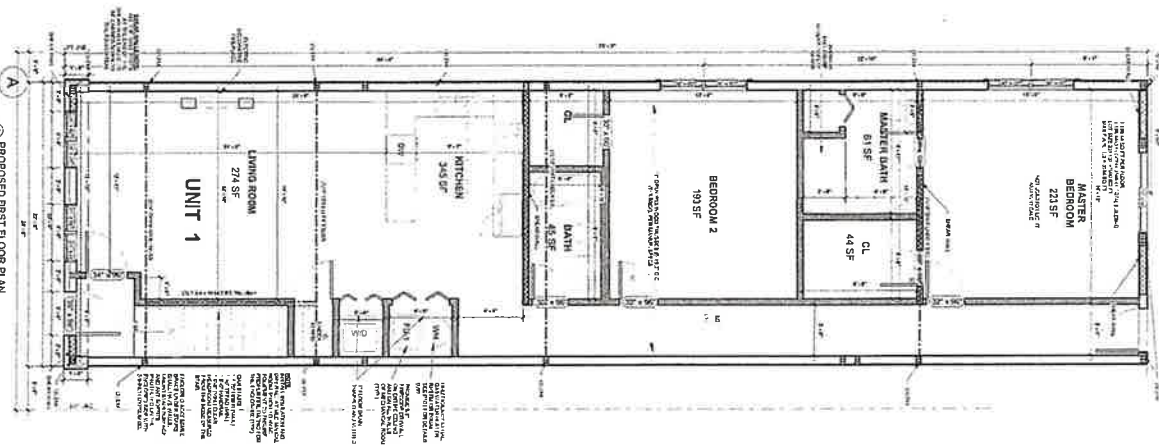
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DATE	BY

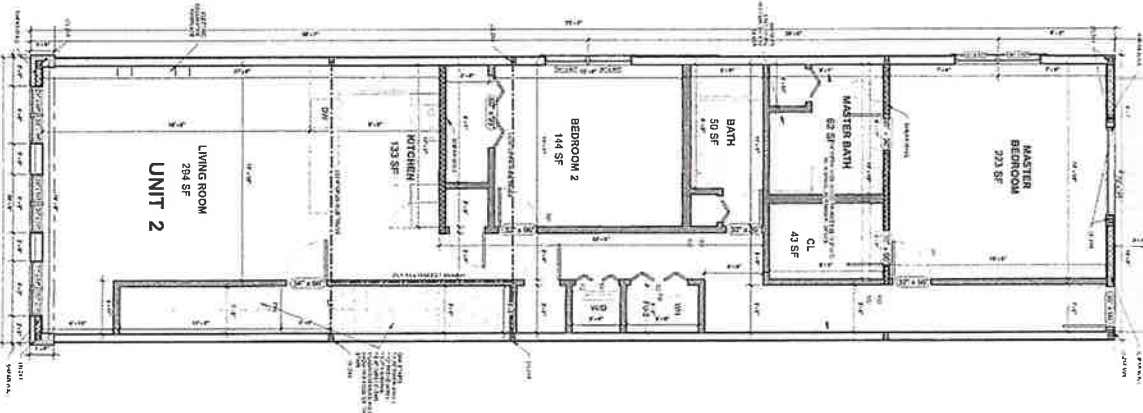
NEW THREE UNIT BUILDING WITH REAR PORCH	
4027 S. VINCHNER AVE. CHICAGO	



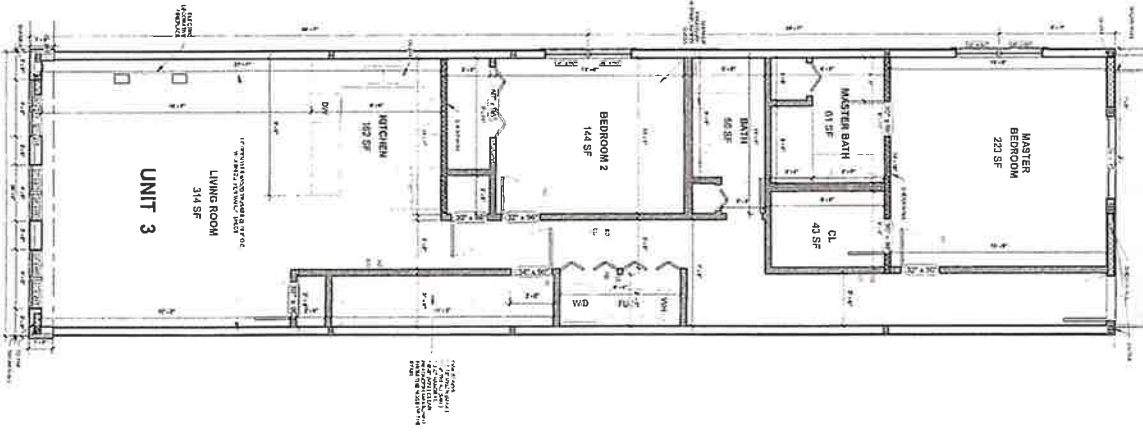
ISSUE DATE:	
NO.	DESCRIPTION



2 PROPOSED FIRST FLOOR PLAN
1/4" = 1'-0"



3 PROPOSED SECOND FLOOR PLAN
1/4" = 1'-0"



4 PROPOSED 3RD FLOOR
1/4" = 1'-0"



A2

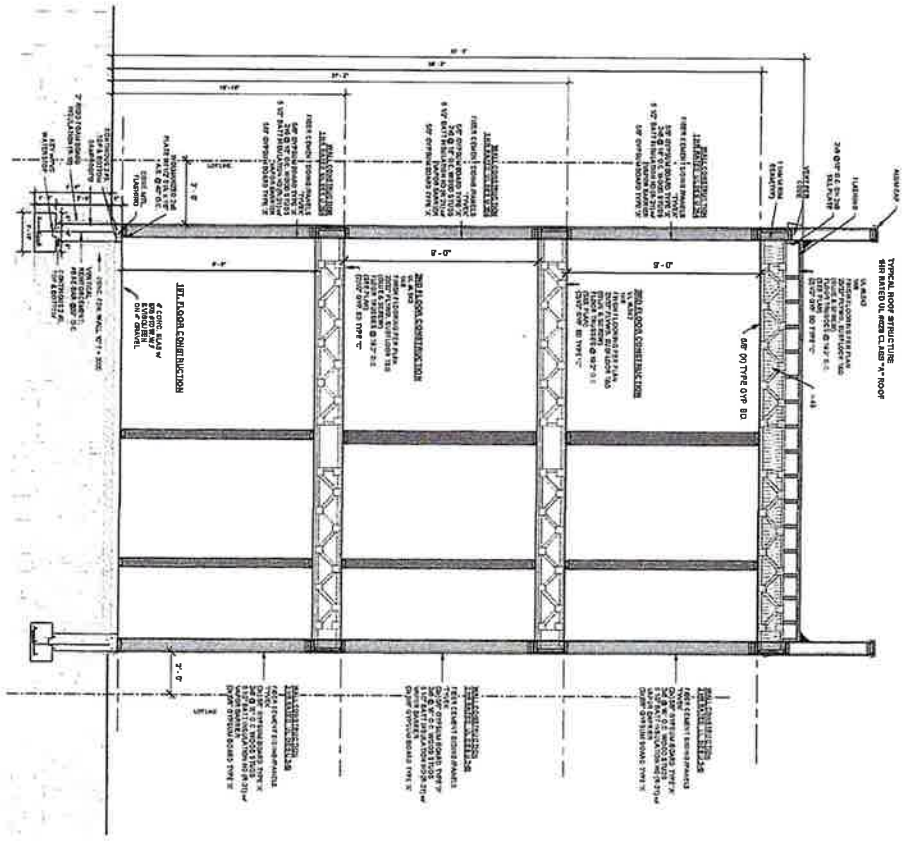
DRAWING LIST
PROPOSED FLOOR PLANS

NO.	DATE	DESCRIPTION
1		

NEW THREE UNIT BUILDING WITH REAR PORCH
427 S. VICENNES AVE. CHICAGO

DATE	BY	CHKD.

ISSUE DATE:	NO.	DESCRIPTION



SECTION 1
1'-0" = 1'-0"



SHEET NO.
A6

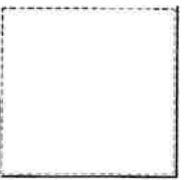
DRAWING LIST
WALL SECTION

OWNER	
DESIGNER	AK
DRAWN BY	AK

NEW THREE UNIT BUILDING WITH REAR PORCH
4077 S. VINCENT AVENUE CHICAGO



DATE	BY	DESCRIPTION



ELEVATION GENERAL NOTES:

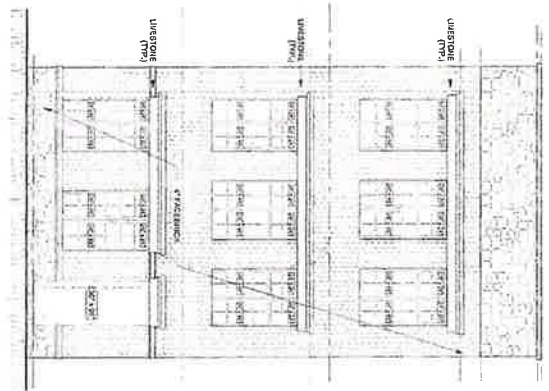
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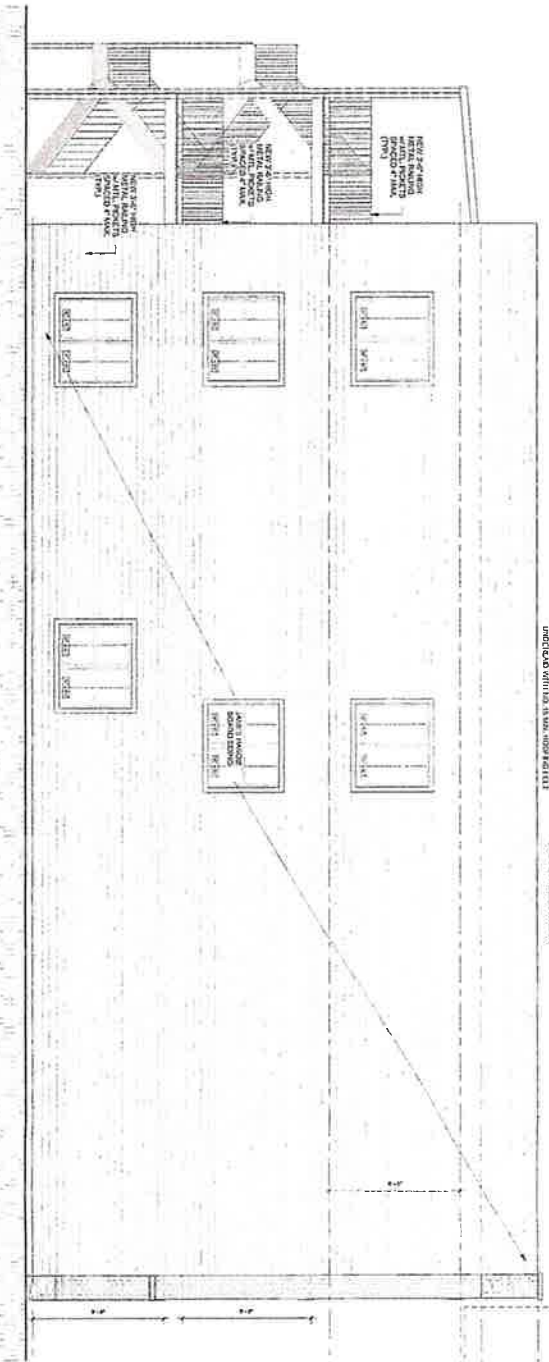
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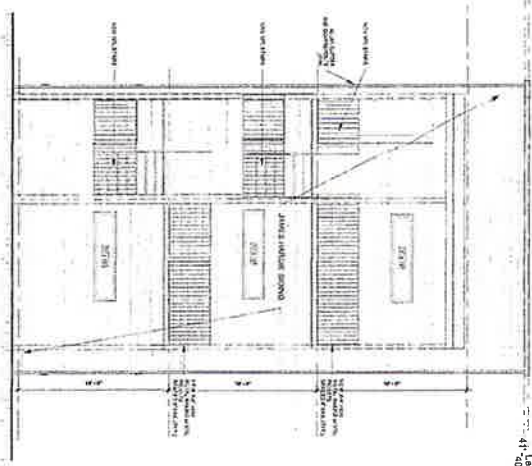
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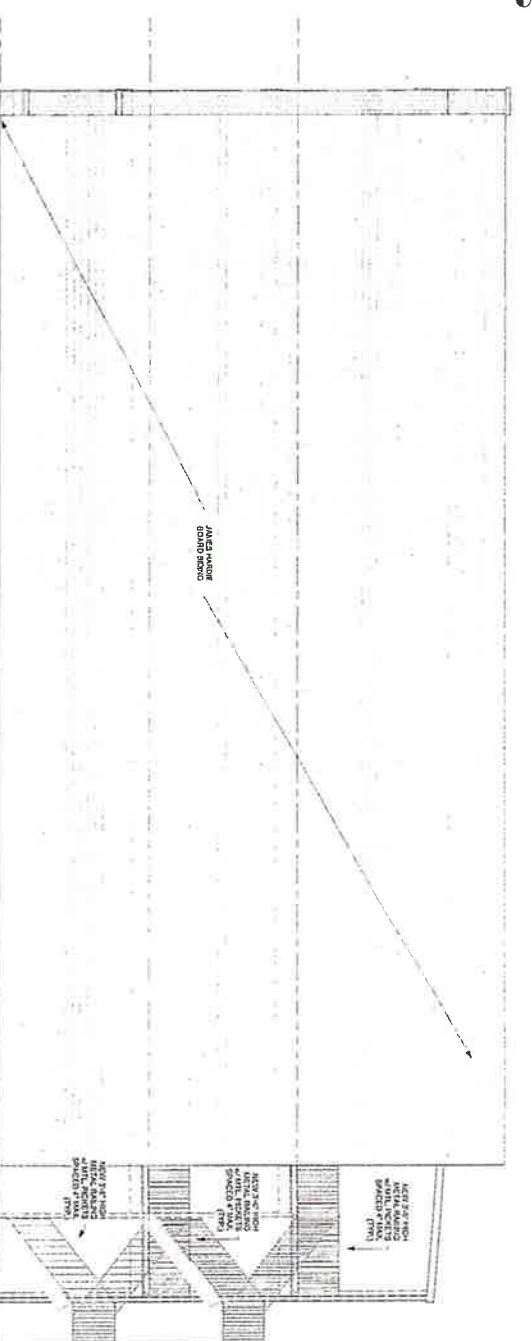
1 REAR ELEVATION
1/4\"/>



2 SIDE ELEVATION
1/4\"/>



3 FRONT ELEVATION
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4 SIDE ELEVATION
1/4\"/>



DRAWING LIST
ELEVATIONS
A7

NO.	DATE	BY	CHKD.
1			

NEW THREE UNIT BUILDING WITH REAR PORCH
 4077 S. VINCENNES AVE. CHICAGO



ISSUE DATE:	DATE	BY

4023 S VINCENNES AVE, CHICAGO, IL 60653

2018 ELECTRICAL CODE

PURPOSE AND SCOPE
This code is intended to provide minimum safety requirements for the installation of electrical systems in buildings, structures, and premises. It is based on the National Electrical Code (NEC) published by the National Fire Protection Association (NFPA) and is adopted with amendments for the City of Chicago.

ADOPTION OF CODE
The Board of Fire Safety and Prevention adopted the 2018 National Electrical Code with amendments for the City of Chicago on March 15, 2018.

AMENDMENTS
The following amendments to the 2018 National Electrical Code are adopted for the City of Chicago:

- Article 110.1(B) - The words "shall" and "shall not" shall be used to indicate mandatory requirements.
- Article 110.1(C) - The words "permitted" and "permitted to" shall be used to indicate permitted practices.
- Article 110.1(D) - The words "required" and "required to" shall be used to indicate required practices.
- Article 110.1(E) - The words "prohibited" and "prohibited to" shall be used to indicate prohibited practices.
- Article 110.1(F) - The words "shall be" and "shall not be" shall be used to indicate required or prohibited practices.
- Article 110.1(G) - The words "shall be permitted" and "shall not be permitted" shall be used to indicate permitted or prohibited practices.
- Article 110.1(H) - The words "shall be required" and "shall not be required" shall be used to indicate required or prohibited practices.
- Article 110.1(I) - The words "shall be prohibited" and "shall not be prohibited" shall be used to indicate permitted or prohibited practices.
- Article 110.1(J) - The words "shall be permitted to" and "shall not be permitted to" shall be used to indicate permitted or prohibited practices.
- Article 110.1(K) - The words "shall be required to" and "shall not be required to" shall be used to indicate required or prohibited practices.
- Article 110.1(L) - The words "shall be prohibited to" and "shall not be prohibited to" shall be used to indicate permitted or prohibited practices.

2018 ELECTRICAL CODE

ARTICLE 110.1 - WORDING AND INTERPRETATION

1.1.1.1. The words "shall" and "shall not" shall be used to indicate mandatory requirements.

1.1.1.2. The words "permitted" and "permitted to" shall be used to indicate permitted practices.

1.1.1.3. The words "required" and "required to" shall be used to indicate required practices.

1.1.1.4. The words "prohibited" and "prohibited to" shall be used to indicate prohibited practices.

1.1.1.5. The words "shall be" and "shall not be" shall be used to indicate required or prohibited practices.

1.1.1.6. The words "shall be permitted" and "shall not be permitted" shall be used to indicate permitted or prohibited practices.

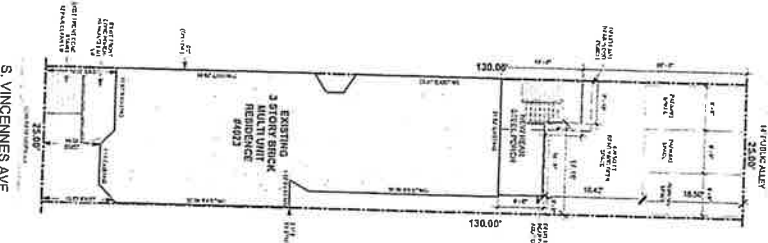
1.1.1.7. The words "shall be required" and "shall not be required" shall be used to indicate required or prohibited practices.

1.1.1.8. The words "shall be prohibited" and "shall not be prohibited" shall be used to indicate permitted or prohibited practices.

1.1.1.9. The words "shall be permitted to" and "shall not be permitted to" shall be used to indicate permitted or prohibited practices.

1.1.1.10. The words "shall be required to" and "shall not be required to" shall be used to indicate required or prohibited practices.

1.1.1.11. The words "shall be prohibited to" and "shall not be prohibited to" shall be used to indicate permitted or prohibited practices.



Sheet Number	Sheet Name
A-1	PROPOSED FLOOR PLANS
A-2	WALL SCHEDULE
A-3	ELECTRICAL PLANS
A-4	COVER WAGE
A-5	DEVIATION PLANS
A-6	PROPOSED FLOOR PLANS
A-7	MECHANICAL PLANS
A-8	ELECTRICAL NOTES
A-9	ELECTRICAL PLANS
A-10	FLUDDING

DATE: 7/1/2022
 DRAWN BY: ANDREW KACHETZNIK, LICENSE NUMBER: 000381868



DATE: 7/1/2022
 DRAWN BY: ANDREW KACHETZNIK, LICENSE NUMBER: 000381868



ROOM NUMBER

Room Number	Room Name	Area (sq. ft.)	Notes
101	APARTMENT UNIT	1,100	
102	APARTMENT UNIT	1,100	
103	APARTMENT UNIT	1,100	
104	APARTMENT UNIT	1,100	
105	APARTMENT UNIT	1,100	
106	APARTMENT UNIT	1,100	
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200	APARTMENT UNIT	1,100	

DRAWING LIST

COVER PAGE

A-1

INTERIOR REMODELING MULTI FAMILY BUILDING NEW REAR STEEL PORCH

4023 S VINCENNES AVE, CHICAGO, IL 60653

ISSUE DATE:

APPROVED:

DESIGNER: ANDREW KACHETZNIK
 STATE OF ILLINOIS
 LICENSE NUMBER: 000381868
APPROVED

GENERAL NOTES:

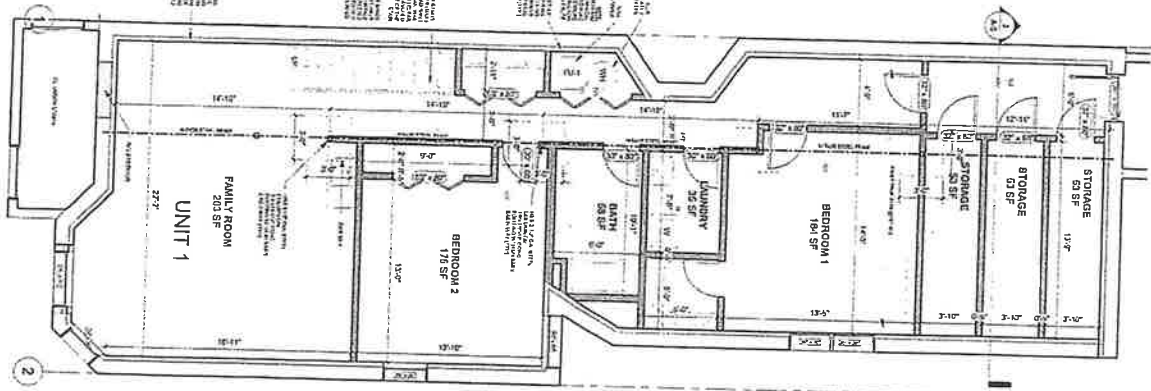
- 1. ALL EXISTING WALLS TO REMAIN SHALL BE REINFORCED WITH STEEL LINTEL SCHEDULE 40 CHANNELS.
- 2. ALL NEW WALLS SHALL BE CONCRETE BLOCK WITH 2" MIN. THICKNESS.
- 3. ALL DOORS TO BE 28" MIN. CLEARANCE.
- 4. ALL WINDOWS TO BE 20" MIN. CLEARANCE.
- 5. ALL FINISHES TO BE AS SHOWN ON DRAWINGS.
- 6. ALL WORK TO BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IBC AND ALL APPLICABLE CODES.
- 7. ALL WORK TO BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IBC AND ALL APPLICABLE CODES.
- 8. ALL WORK TO BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IBC AND ALL APPLICABLE CODES.

STEEL LINTEL SCHEDULE

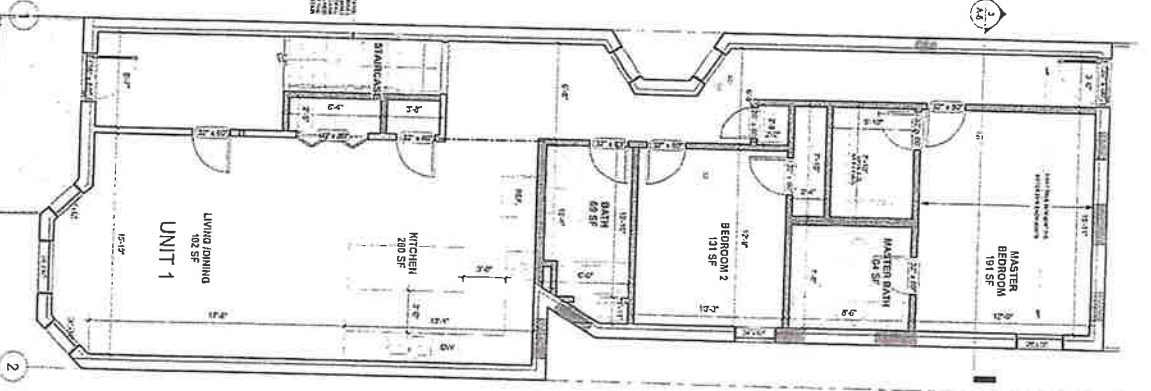
Channel Size	Weight (lb/ft)	Depth (in)	Flange Width (in)	Flange Thickness (in)	Web Thickness (in)	Radius (in)
4"	11.8	4.0	3.5	0.135	0.105	0.1875
6"	20.7	6.0	5.5	0.135	0.105	0.1875
8"	31.3	8.0	7.5	0.135	0.105	0.1875
10"	43.8	10.0	9.5	0.135	0.105	0.1875
12"	58.3	12.0	11.5	0.135	0.105	0.1875
14"	74.8	14.0	13.5	0.135	0.105	0.1875
16"	93.3	16.0	15.5	0.135	0.105	0.1875
18"	113.8	18.0	17.5	0.135	0.105	0.1875
20"	136.3	20.0	19.5	0.135	0.105	0.1875



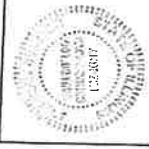
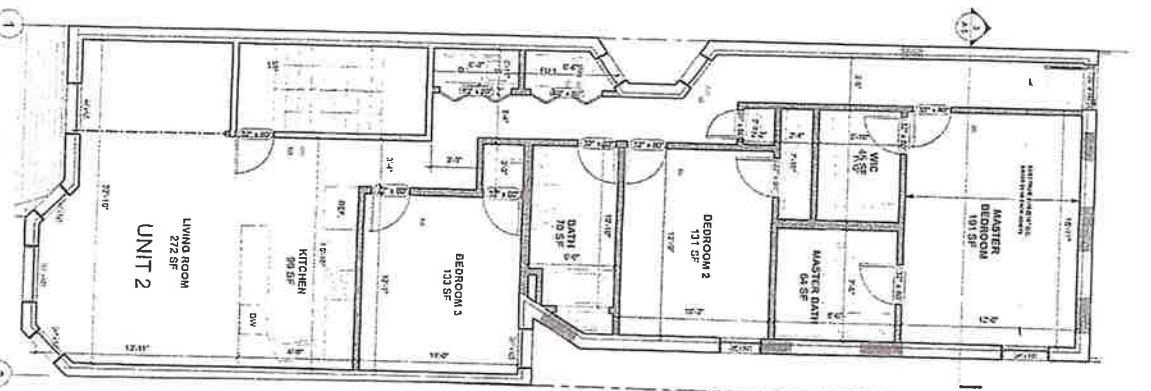
1. PROPOSED UNITS 1 & 2 FLOOR PLAN
1/4" = 1'-0"



2. PROPOSED FIRST FLOOR PLAN
1/4" = 1'-0"



3. PROPOSED 2ND FLOOR PLAN
1/4" = 1'-0"



DATE: 1/27/11
A-3

PRAYING LIST
PROPOSED FLOOR PLANS

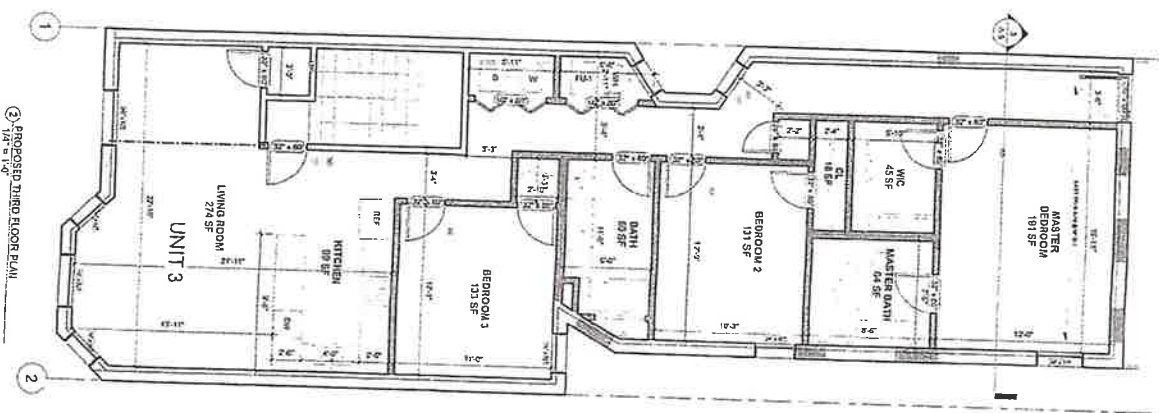
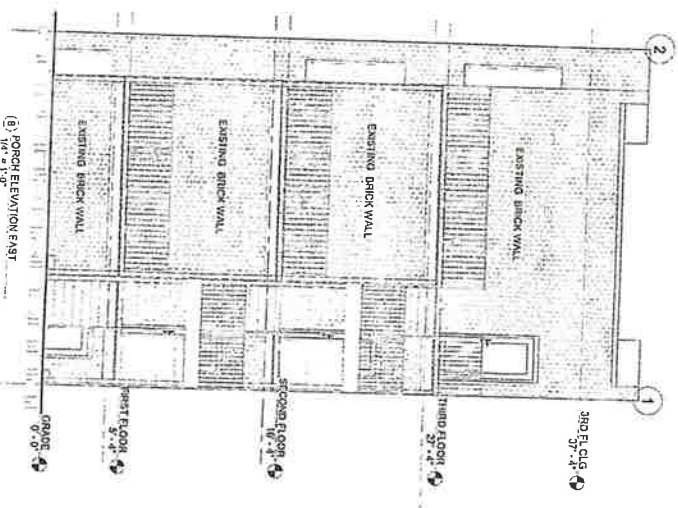
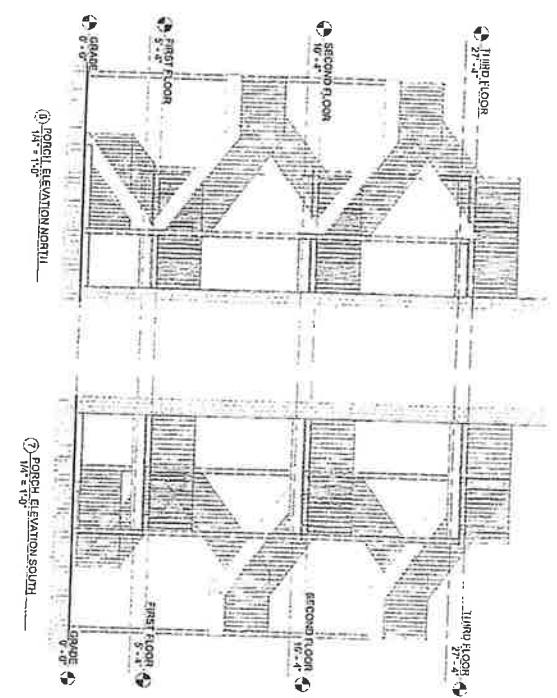
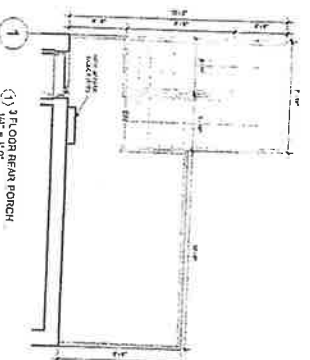
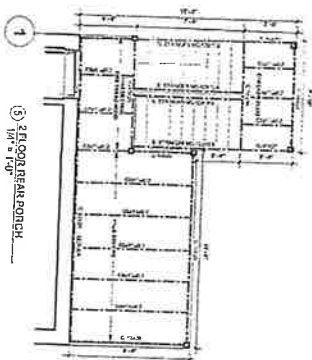
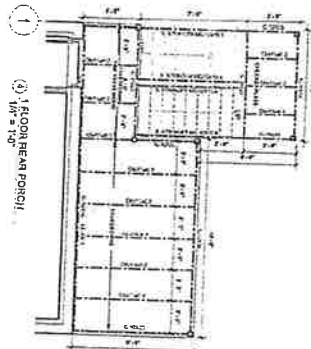
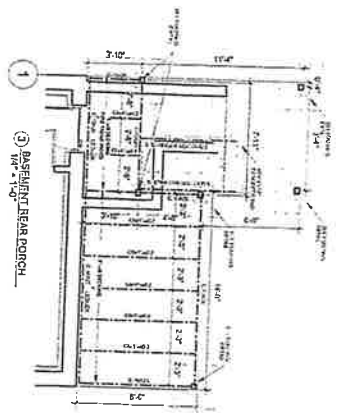
NO.	DATE	BY	CHKD.
1			
2			

INTERIOR REMODELING MULTI FAMILY BUILDING/NEW REAR STEEL PORCH
4023 S YNCKES AVE, CHICAGO, IL 60653



ISSUE DATE:	NO.	DATE

APPROVED
DATE: 1/27/11
BY: [Signature]



OWNER REVIEW ON DRAWINGS
STANDARD PLAN REVIEW
APPROVED
DATE: 11/15/2017

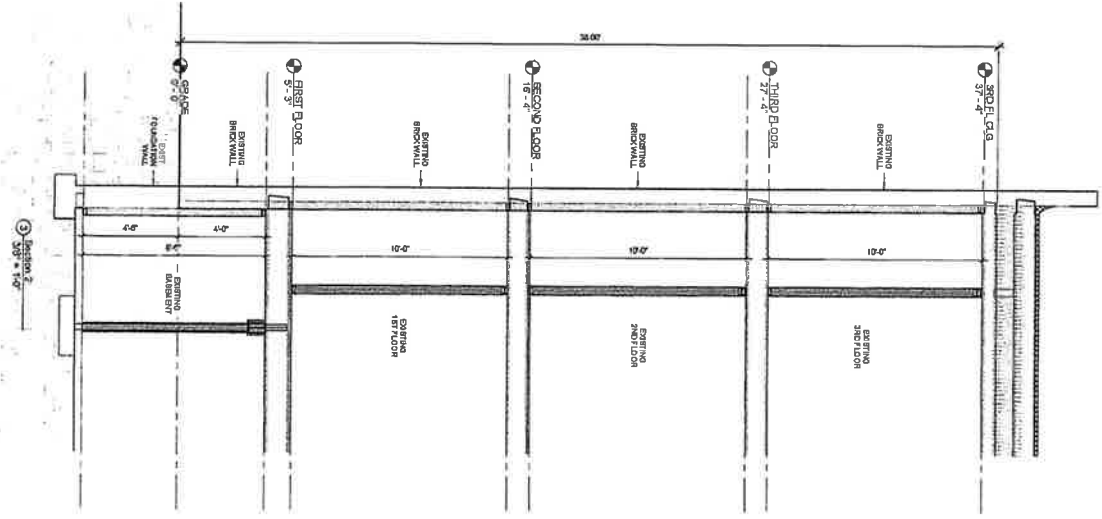
ISSUE DATE:	11/15/2017
NO.	1
DATE	11/15/2017
DESCRIPTION	ISSUE

INTERIOR REMODELING MULTI FAMILY BUILDING REAR STEEL PORCH
4833 S VINCENT AVE, CHICAGO, IL 60613

DATE	11/15/2017
BY	11/15/2017
APP. BY	11/15/2017

DRAWING LIST
PROPOSED FLOOR PLANS
A-4





A-5

DRAWING LIST
WALL SECTION

NO.	DATE

INTERIOR REMODELING MULTI FAMILY BUILDING/NEW REAR STEEL PORCH

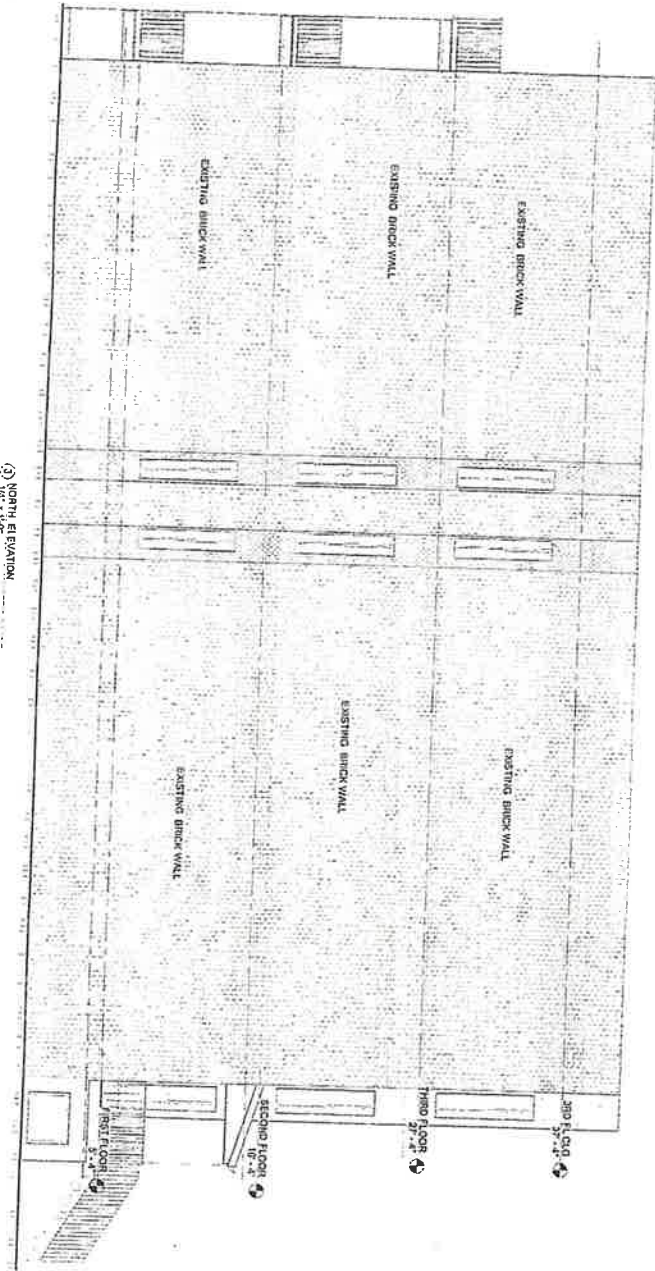
4923 S VICTORIES AVE, CHICAGO, IL 60653



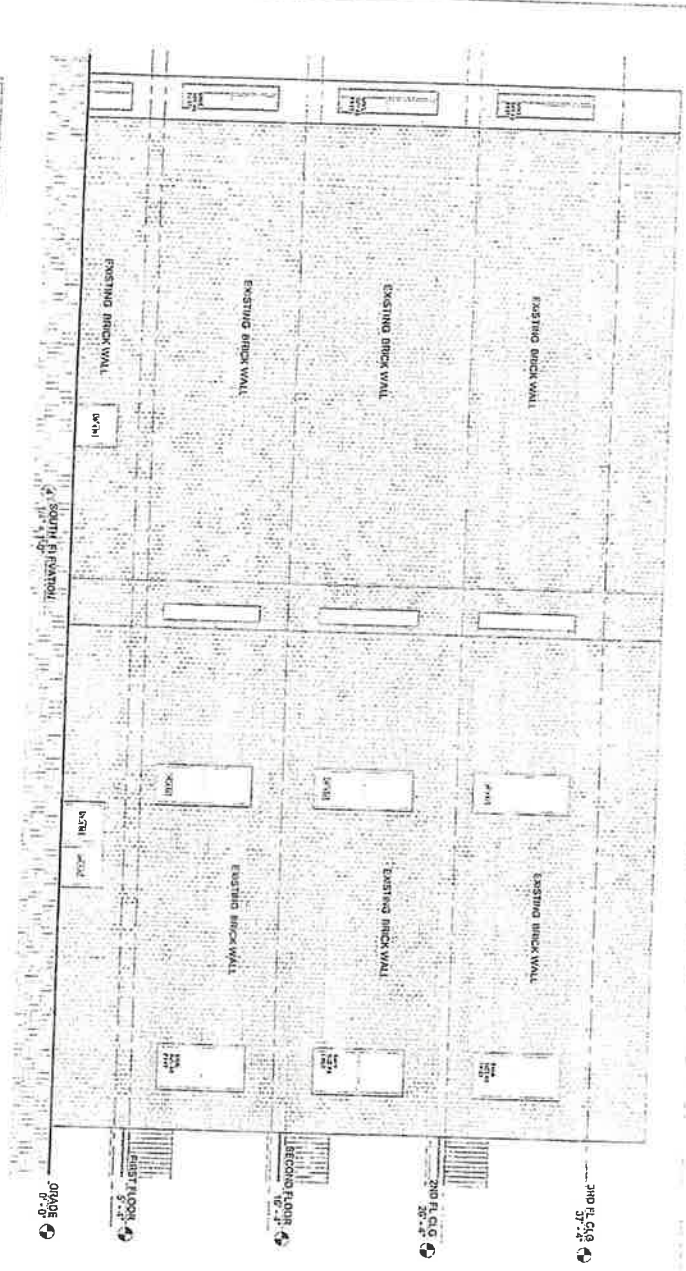
DATE	BY	REVISION



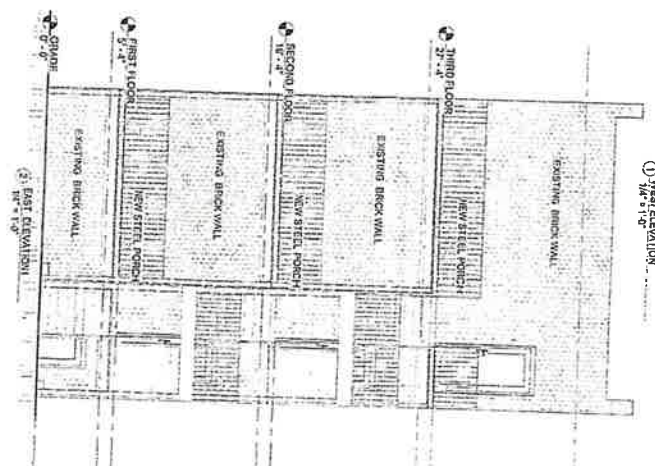
① NORTH ELEVATION



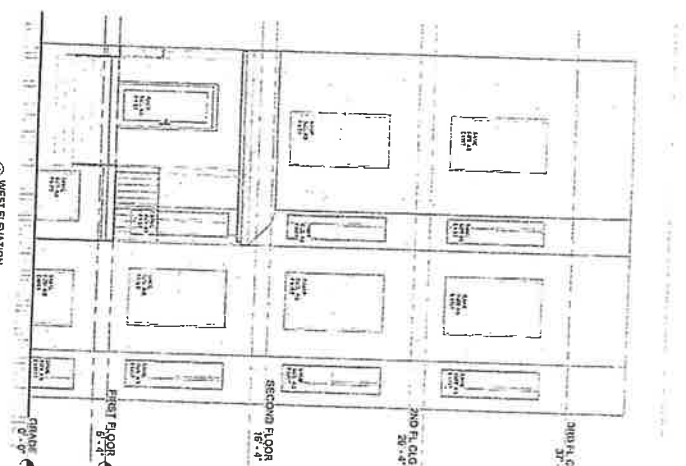
② SOUTH ELEVATION



③ EAST ELEVATION



④ WEST ELEVATION



A-6

DRAWING LIST
ELEVATIONS

NO.	DATE	BY	CHK.
1	12/15/18	J.M.	J.M.

INTERIOR REMODELING MULTI-FAMILY BUILDING NEW REAR STEEL PORCH
4023 S. VINCENNES AVE, CHICAGO, IL 60653



DATE DATE	
ISSUED	12/15/18
REVISION	

APPROVED
[Signature]
ARCHITECT

QUANTITY OF MATERIALS
STANDARD PLAN REVIEW
APPROVED