

Narrative and Plans for Type 1  
Rezoning from RS-3 to RM-5  
for 2611 W. Augusta Boulevard, Chicago

Narrative

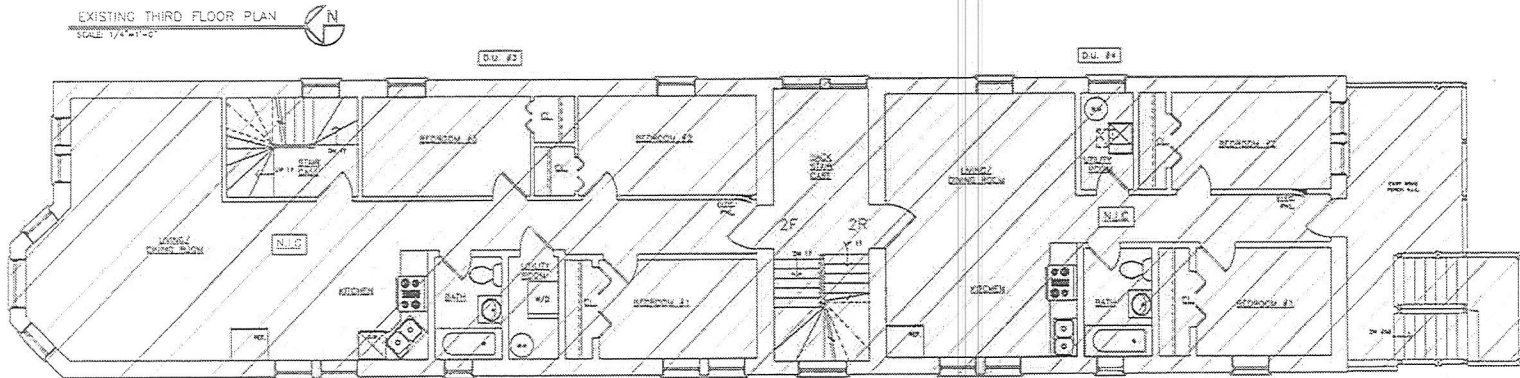
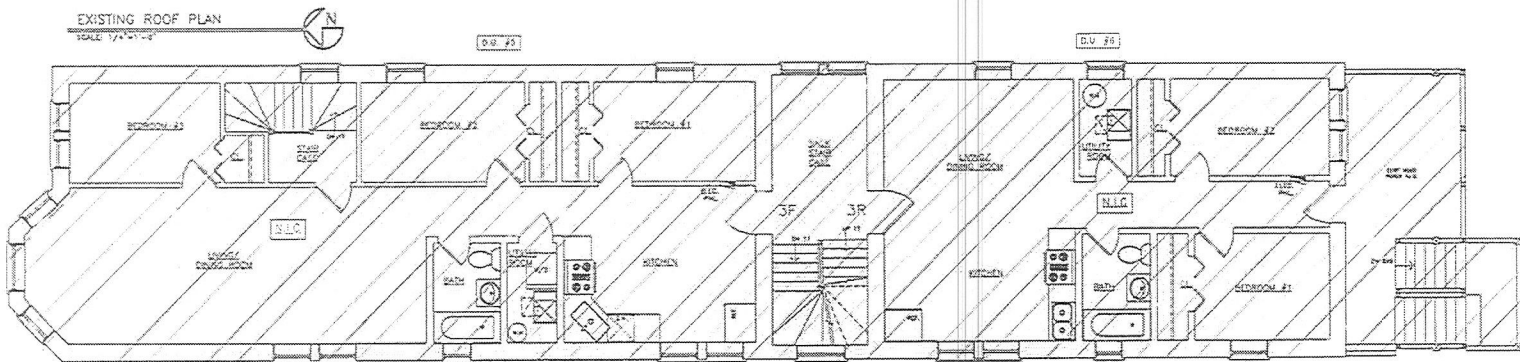
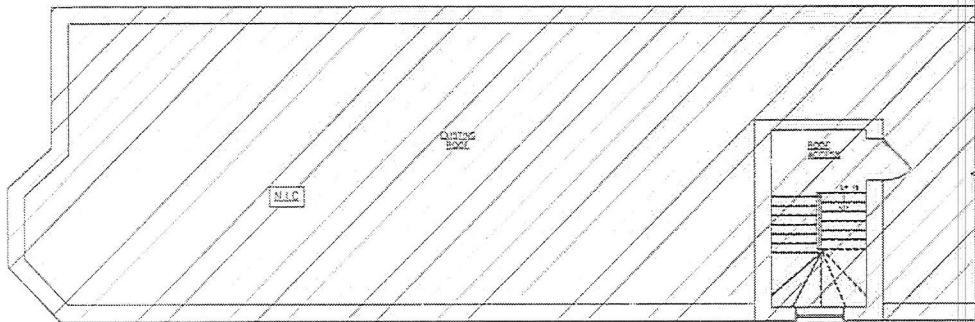
The subject property is improved with a 3-story multi-unit residential building. The applicant needs this zoning change to comply with the bulk and density standards to add an additional dwelling in this basement of the existing building for a total of seven dwelling units.

A,1. The proposed land use is to add an additional dwelling unit in the basement of the existing building for a total of seven dwelling units.

- a. The project's floor area ratio will be 2.0. Lot area 3,926.47 square feet.
- b. The project's density Minimum Lot Area (MLA) per dwelling unit will be 561 SF per dwelling unit.
- c. Off-street parking spaces: Zero
- d. Setbacks Existing: front 5.5'  
West 5.85'  
East 4.0'  
Rear 19.19'
- e. Building height 40' existing.







- NOTES**
- CONTRACTOR MUST PROVIDE ACCURATE EXISTING AND FINISHES OF EXISTING STRUCTURE AT ALL TIMES.
  - CONTRACTOR MUST PROVIDE ALL DEMOLITION IN A SAFE AND CONSIDERED MANNER, WITHOUT DAMAGING CONSTRUCTION TO REMAIN.
  - CONTRACTOR MUST DEMOLISH ALL DEMOLISHED MATERIALS IN A SAFE AND LEGAL MANNER.

- SITE CONDITIONS**
- ARCHITECT IS NOT RESPONSIBLE FOR CONDITIONS THAT ARE CONCEALED DURING INSPECTION, INVESTIGATIONS & OR DISCOVERED DURING CONSTRUCTION. ALL NEW DISCOVERIES TO BE REPORTED TO THE ARCHITECT.
  - CONTRACTOR SHALL VERIFY ALL FOUND CONDITIONS AND DIMENSIONS AT THE JOB SITE AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES, OMISSIONS OR OMISSIONS WHILE REVIEWING DRAWINGS OR FURNISHING ANY NOTES. DO NOT CONCEAL THESE OMISSIONS.
  - CONTRACTOR MUST REPLACE ALL DAMAGED AND MISSING WORK AS REQUIRED.

**LEGEND**

	WALL / PARTITION TO REMAIN
	WALL / PARTITION TO BE DEMOLISHED
	ELEMENT TO BE DEMOLISHED
	KEYNOTE
	AREA NOT IN CONTRACT

- DEMOLITION KEYNOTES**
- REMOVE & REPLACE EXIST. WINDOW/DOOR SAME SIZE & LOCATION.
  - REMOVE EXIST. GLASS EBLOCK & REPAIR ALL OPENINGS FOR ORIGINAL WINDOW PER GENERAL NOTES. OMISSIONS OR OMISSIONS WHILE REVIEWING DRAWINGS OR FURNISHING ANY NOTES. DO NOT CONCEAL THESE OMISSIONS.
  - REMOVE & REPLACE EXIST. WOODEN BEAM & PROTECT WITH NEW STEEL BEAM & POST.

REVISED BY: VD  
CHECKED BY: VD  
DRAWN BY: KB

2611 W. AUGUSTA AVE  
CHICAGO, IL

321 N. Dearborn Ave  
Chicago, IL 60610

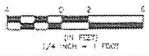
**RECTS**  
ARCHITECTS

ARCHITECTURE  
PLANNING  
ARCHITECTURAL ENGINEERING

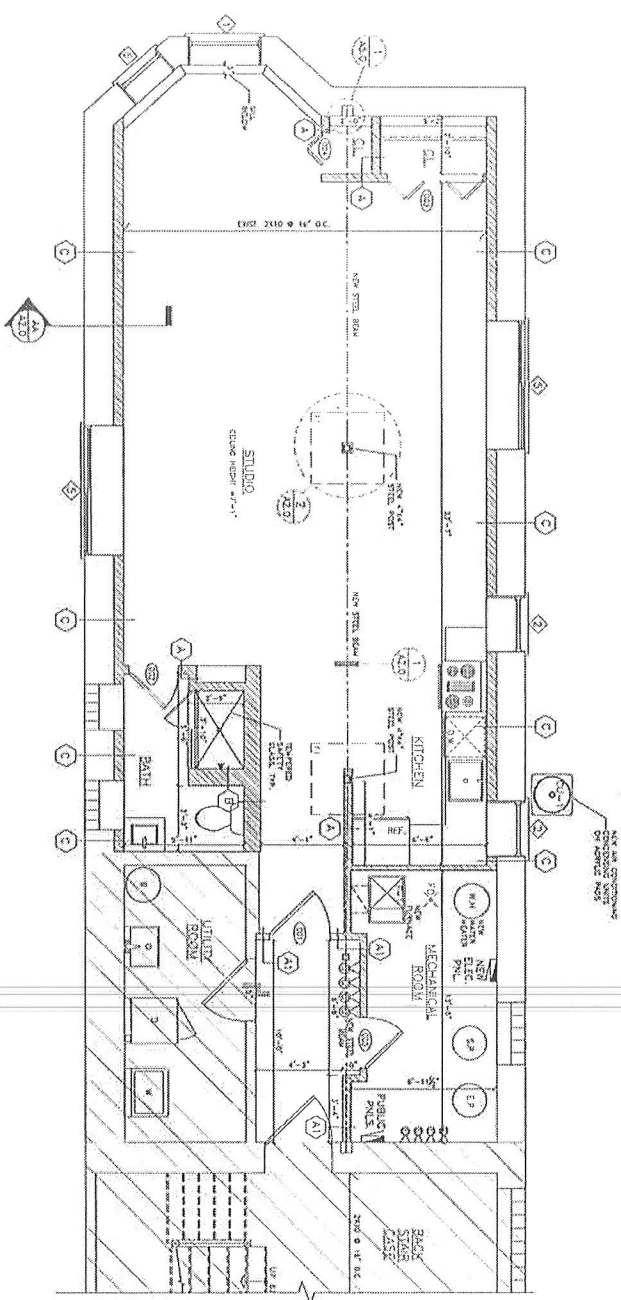
PROJECT: 2611 W. AUGUSTA AVE  
SCALE: AS SHOWN  
DATE: 08/2013

SHEET: **D1.1**  
3 OF 11

STATE OF ILLINOIS  
REGISTERED ARCHITECT  
NO. 02704  
001-022149



Final for Publication



BASEMENT FLOOR PLAN  
SCALE: 3/8" = 1'-0"

**WALL LEGEND**

	EXISTING WALL		GYPSUM PARTITION WALL
	NEW FINISHED WALL		NEW MASONRY WALL
	EXISTING SLAB		NEW SLAB

**DOORING SYMBOLS**

	DOOR SWING		DOOR SWING
	DOOR SWING		DOOR SWING
	DOOR SWING		DOOR SWING

**PLAN NOTES**

1. ALL NEW WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IBC AND ALL APPLICABLE CODES.
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**CHANGE/REVISIONS SCHEDULE**

NO.	DATE	DESCRIPTION
1	08/15/11	ISSUED FOR PERMITS

**FINISHING NOTES**

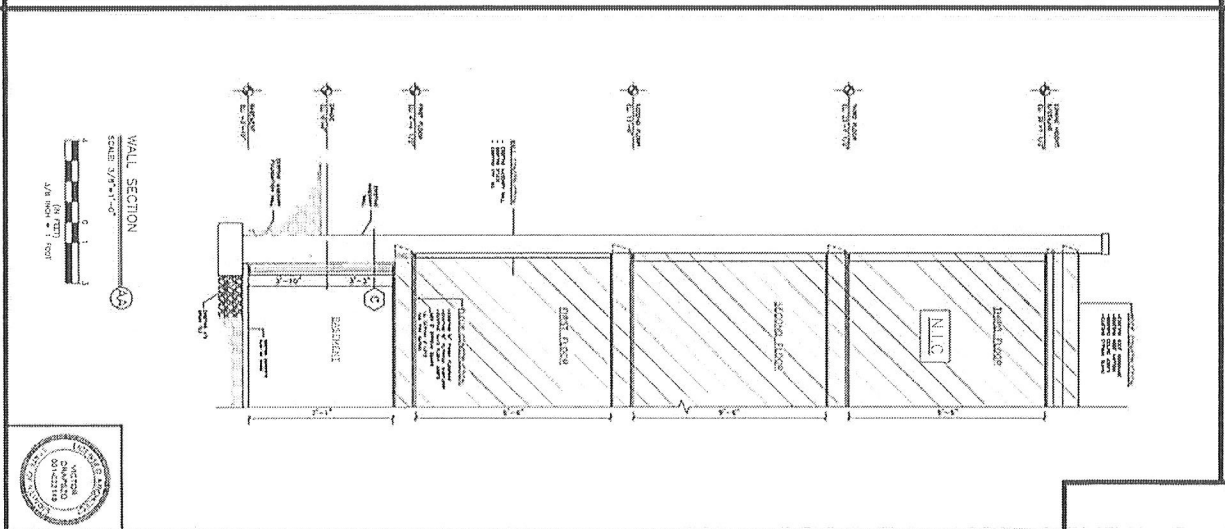
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**ARCHITECT**  
  
**PROJECT**  
 2611 W. AUGUSTA AVE  
 CHICAGO, IL 60608  
**SCALE**  
 3/8" = 1'-0"  
**DATE**  
 08/15/11  
**PROJECT NO.**  
 A1.0  
 4 OF 11

<p><b>2x4 PARTITION</b> SCALE: 3/8" = 1'-0"</p>	<p><b>1-HOUR INTERIOR WALL</b> SCALE: 3/8" = 1'-0"</p>	<p><b>2x6 PARTITION</b> SCALE: 3/8" = 1'-0"</p>
<p><b>EXTERIOR WALL INFILL</b> SCALE: 3/8" = 1'-0"</p>	<p><b>BEAM PROTECTION</b> SCALE: 3/8" = 1'-0"</p>	<p><b>COLUMN PROTECTION DETAIL</b> SCALE: 3/8" = 1'-0"</p>



<p><b>A2.0</b> 1 OF 11</p>	<p>PROJECT: 2411 W. AUGUSTA AVE SCALE: 3/8" = 1'-0" WORKSHEET: A2.0 DATE: 8.21.2013</p>	<p>ARCHITECTURE PLANNING <b>ARCHITECTS</b> ARCHITECTURAL ENGINEERING</p>	<p>2125 N. DAMEN AVE CHICAGO, IL 60647 773.752.2756 ext. 400 773.752.2854 fax</p>	<p>2411 W. AUGUSTA AVE CHICAGO, IL</p>	<p>SECTION &amp; DETAILS</p>
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PICTURES OF EXISTING ELEVATIONS

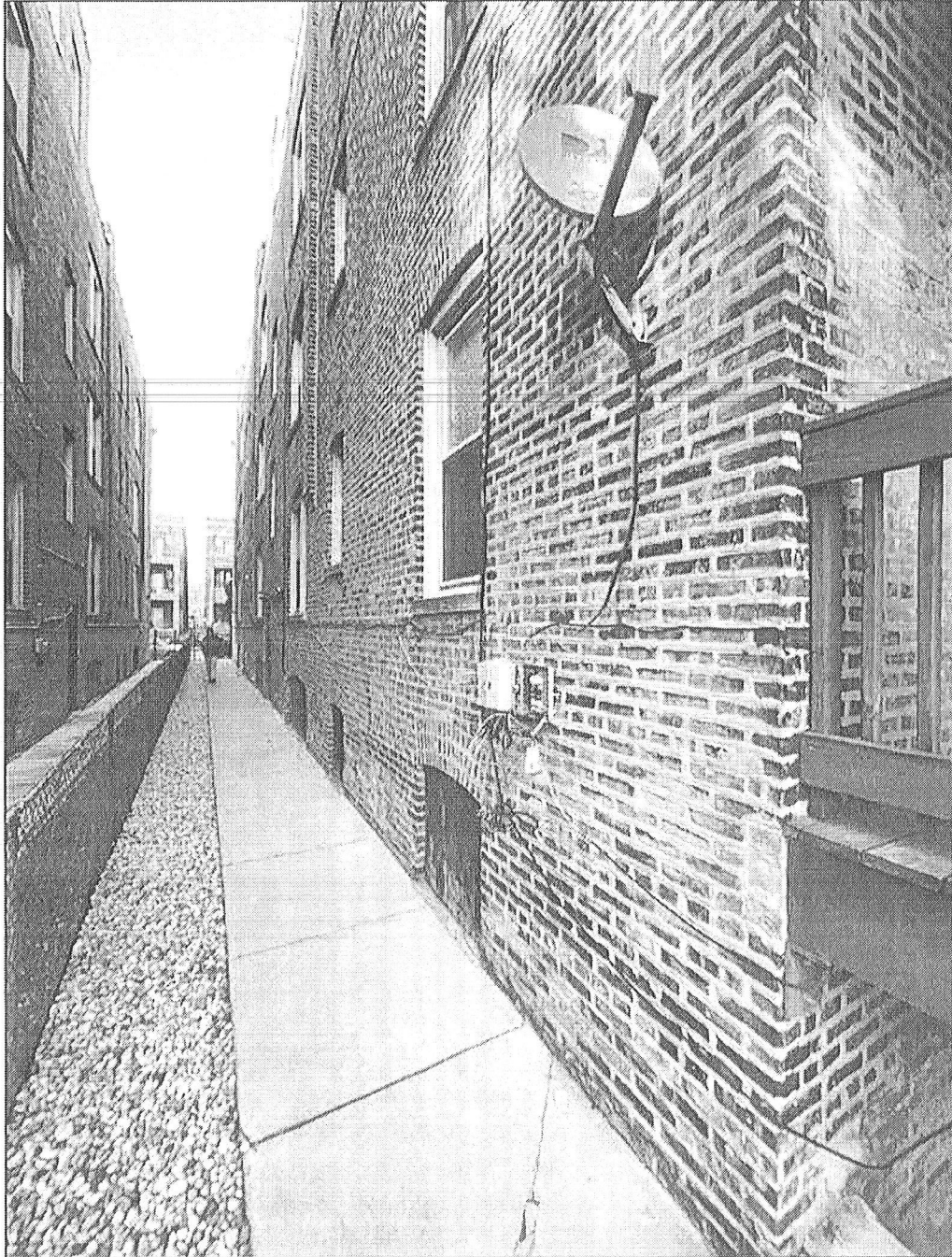
Final for Publication

FRONT ELEVATION



PICTURES OF EXISTING ELEVATIONS

EAST ELEVATION





PICTURES OF EXISTING ELEVATIONS

Final for Publication

REAR ELEVATION



PICTURES OF EXISTING ELEVATIONS

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Final for Publication

WEST ELEVATION

