

TYPE -1 Narrative and Plans
Zoning Map Amendment
at 2835 West Cullerton Street
from M1-2 to RT4

A. Proposed Land Use:

The subject property is currently a 780 sq. ft, 1.5 story frame structure sits on a substandard lots size of 2,250 sq. ft. The applicant needs a zoning change to meet the bulk and density standards to rehabilitate the building to allow the existing building to be converted to a total of 2 dwelling units, 3 story building. Proposed, a new 2 story upper level addition over the existing, 1 story building. The existing building and proposed new addition with new rear 3 story open deck and stair, sits on a substandard zoning lot, the design will seek relief as per section 17-13-03-3-D Type 1 Submission.

B. Floor Area Ratio: 1.0 (FAR)

C. Project's lot size measures 2,250 sq. ft. density: 1,125 sq. ft per dwelling unit = 2 dwelling units.

D. Amount of off-street parking - 2

E. Setback

Front: 17.10' feet

Rear: 34.9

East: 3.60 feet

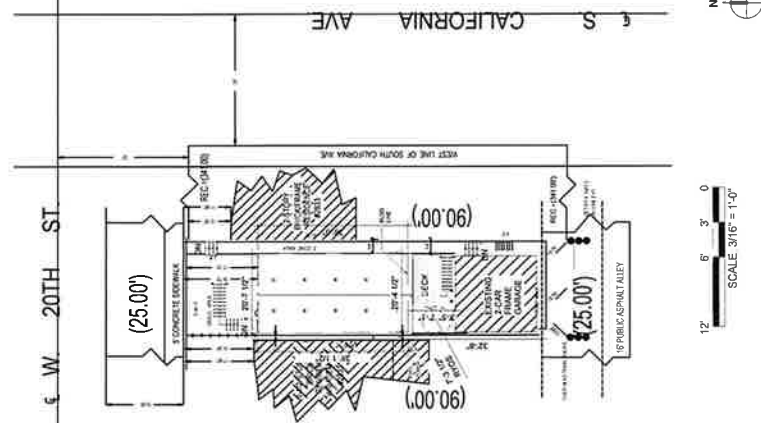
West: 0 zero feet

F. Building height is 35-0'

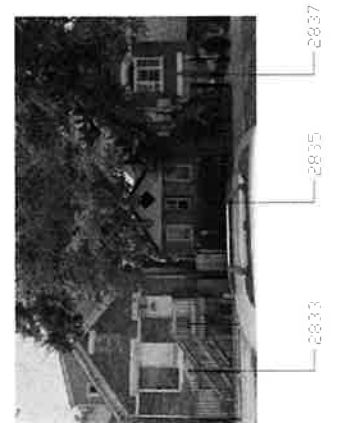
*The applicant will comply with Section 17-2-0301-C Exceptions of Chicago Air Quality Ordinance should such provision be determined as applicable.

*As per Section 17-13-0303-D Optional Administrative Adjustment and Variation. Applicant seeks a variation to reduce the setbacks as per section 17-13-1101-B for front, side setback relief and 17-13-1101-A; 17-13-1003-K rear yard open space.

SITE PLAN



SITE PHOTOS (LOCATION MAP)



Type 1 Narrative and Plans Zoning Map Amendment from M1-2 to RT4 at 2835 W Cullerton St and Convert SFR to 2 Dwelling Unit 2 Flat Guadalupe Castaneda 2835 W CULLERTON, CHICAGO IL 60623

APPLICABLE BUILDING CODES
CHICAGO BUILDING CODE - 2019
CHICAGO ELECTRICAL CODE
CHICAGO MECHANICAL CODE
CHICAGO PLUMBING CODE
CHICAGO FIRE CODE
CHICAGO SAFETY CODE 2018
CHICAGO ZONING ORDINANCE
CHICAGO ENERGY CODE

EXISTING BUILDING INFORMATION
CONTRACT CLASSIFICATION: 4-1 MULTIFAMILY DWELLING UNIT
CONSTRUCTION TYPE: TYPE I/A
FIN NUMBER: 20-12-22-300-0000
EXIST FOUNDATION: 10' AND NOT FLOOR AREA 10'x10'

CODE MATRIX

SECTION	REVISION	DATE
1.00	ISSUED FOR PERMITS	07/27/2023
1.01	REVISION	08/01/2023
1.02	REVISION	08/01/2023
1.03	REVISION	08/01/2023
1.04	REVISION	08/01/2023
1.05	REVISION	08/01/2023
1.06	REVISION	08/01/2023
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1.49	REVISION	08/01/2023
1.50	REVISION	08/01/2023

2835 W CULLERTON CODES Compliance Matrix-
Chicago Zoning Ordinance and 2019 Chicago Construction Codes

DRRAWING INDEX

NO.	DESCRIPTION	SHEET
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ANNOTATION SYMBOLS

NO.	DESCRIPTION	SYMBOL
1	GENERAL NOTES	(Symbol)
2	EXISTING ELEVATIONS	(Symbol)
3	EXISTING FLOOR PLANS	(Symbol)
4	EXISTING SECTION	(Symbol)
5	EXISTING DETAIL VIEWS	(Symbol)
6	EXISTING DETAILS	(Symbol)
7	SOFFIT DETAILS	(Symbol)
8	MECHANICAL NOTES	(Symbol)
9	ELECTRICAL CODE PLAN	(Symbol)

ABBREVIATION

A.C.	ASBESTOS CONTAMINATED
A.D.	ADJUSTABLE
A.F.	ACRYLIC FINISH
A.G.	AGGREGATE
A.H.	ALUMINUM HANDRAIL
A.L.	ALUMINUM LATH
A.N.	ANODIZED ALUMINUM
A.P.	ANODIZED ALUMINUM PANEL
A.Q.	ANODIZED ALUMINUM QUARTZ
A.R.	ANODIZED ALUMINUM ROOFING
A.S.	ANODIZED ALUMINUM SHEET
A.T.	ANODIZED ALUMINUM TILES
A.U.	ANODIZED ALUMINUM UNDERLAY
A.V.	ANODIZED ALUMINUM VENEER
A.W.	ANODIZED ALUMINUM WALL
A.X.	ANODIZED ALUMINUM WINDOW
A.Y.	ANODIZED ALUMINUM YIELD
A.Z.	ANODIZED ALUMINUM ZINC
B	BRICK
B.C.	BLOCK
B.D.	BLOCK DRAIN
B.E.	BLOCK EXTERIOR
B.F.	BLOCK FINISH
B.G.	BLOCK GLASS
B.H.	BLOCK HANDRAIL
B.I.	BLOCK INSULATION
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C.A.	CONCRETE ANCHOR
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ARCHITECTURAL SYMBOLS

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GENERAL DEMO NOTES

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OVER REQUIRED DATA

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMITS	07/27/2023
2	REVISION	08/01/2023
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2 UNIT - NEW CONSTRUCTION
2 FLAT - NEW CONSTRUCTION
EXTERIOR - NEW CONSTRUCTION
NEW MEMBERS
Guadalupe Castaneda
2835 W CULLERTON, CHICAGO IL 60623

ENERGY CODE COMPLIANCE STATEMENT
I CERTIFY THAT I AM A REGISTERED ENERGY PROFESSIONAL (REP), ALSO CERTIFY THAT TO THE BEST OF MY PROFESSIONAL KNOWLEDGE AND BELIEF THAT THE ATTACHED PLANS FOR THIS PROJECT COMPLY WITH THE REQUIREMENT OF CHAPTER 16-03 ENERGY CONSERVATION OF THE MUNICIPAL CODE OF CHICAGO EXCEPT IN 15-0301 (AS OF APRIL 22, 2009)

ENERGY CODE COMPLIANCE STATEMENT
I, THE ORIGINAL PROFESSIONAL, WEI HIN SEAL, USE
FOR THIS PROJECT

COVER PAGE
PROJECT NO. 2835 W CULLERTON ST FLAT NO. 201
DATE 08/01/2023
DRAWN BY JIMMY CHEN
CHECKED BY CHEN
SCALE 1/8" = 1'-0"
0 3' 6' 12'

COVER PAGE

GENERAL DEMOLITION NOTES

1. THE CONTRACTOR SHALL PERFORM ALL DEMOLITION WORK IN ACCORDANCE WITH APPLICABLE RULES, REGULATIONS, CODES AND ORDINANCES OF THE CITY OF CHICAGO.
2. THE CONTRACTOR SHALL REMOVE AND RELOCATE ALL EQUIPMENT WITH OWNER PRIOR TO DEMOLITION.
3. THE CONTRACTOR SHALL VISIT THE SITE TO EXAMINE THE EXISTING BUILDING, SURROUNDING CONDITIONS, ALL RECORD DRAWINGS, AND ALL DOCUMENTS AND EXISTING CONDITIONS.
4. DEMOLITION, REMOVAL AND ALTERATION WORK SHALL BE PERFORMED WITH DUE CARE, INCLUDING SHORING, BRACING, ETC. PERFORM PATCHING, RESTORATION AND REPAIR WORK AS REQUIRED. DO NOT CUT ANY EXISTING CONDITIONS, UTILITIES, OR BUILDING ELEMENTS. DAMAGED ITEMS SHALL BE REMOVED AND PROMPTLY RETURNED TO SERVICE WITH NEW MATERIALS TO MATCH EXISTING.
5. THE CONTRACTOR SHALL EXERCISE CARE TO PREVENT ANY DAMAGE TO EXISTING CONDITIONS, UTILITIES, OR BUILDING ELEMENTS. DAMAGED ITEMS SHALL BE REMOVED AND PROMPTLY RETURNED TO SERVICE WITH NEW MATERIALS TO MATCH EXISTING.
6. MATERIALS TO BE REUSED SHALL BE IDENTIFIED AT ALL TIMES UNLESS WRITTEN PERMISSION IS RECEIVED FROM THE OWNER TO TEMPORARILY INTERRUPT BY THE ALTERATION AND DEMOLITION WORK WHETHER WITHIN OR OUTSIDE THE PREMISES.
7. REMOVE DEBRIS AS WORK PROGRESSES. MAINTAIN THE PREMISES AT ALL TIMES IN AN NEAT AND CLEAN CONDITION.
8. CONTRACTOR SHALL CAREFULLY REMOVE ALL WALL COVERING MATERIALS AND PREPARE REMAINING EXISTING PARTITIONS AND WALL SURFACES TO FOLLOWING DEMOLITION. ALL REMAINING FLOOR SURFACES ARE TO BE LEVELED USING A LATEX CEMENTITIOUS FLOOR PRODUCT TO PROVIDE FOR A UNIFORMLY GRADED SURFACE WHERE APPLICABLE.
9. PATCH AND REPAIR ALL FLOOR AND WALL PERFORATIONS ENCOUNTERED AND/OR CEMENTITIOUS PATCH EQUAL TO THE FIRE RATING OF THE SURROUNDING SURFACE.
10. DO NOT CUT OR REMOVE ANY PORTION OF THE STRUCTURAL MEMBERS OR PARTS THEREOF UNLESS THE CONTRACTOR'S ENGINEER IS REQUIRED BEFORE ANY REMOVAL OF STRUCTURAL MEMBERS.
11. PROTECT IN PLACE EXIST. WOOD FLOOR THAT CAN BE SALVAGED AND FINISH PER OWNER DIRECTION.
12. REMOVE ALL EXIST. DOOR & WINDOW CASINGS THAT WERE INSTALLED FIELD ABOVE ALL EXISTING HEIGHTS (FLOOR TO FLOOR, ROOF EAVES, RIDGE PEAKS AND ETC.) BEFORE MAKING ANY MODIFICATIONS.

DEMOLITION KEYNOTES

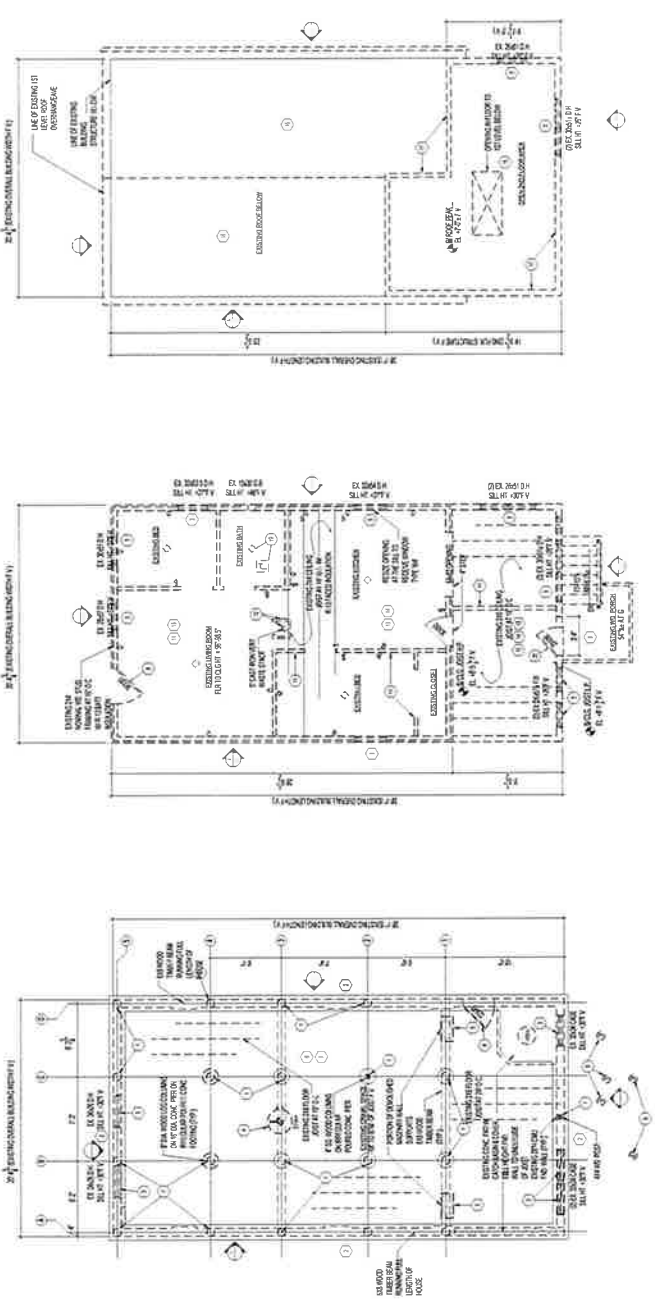
1. SHORE UP EXISTING STRUCTURE ABOVE. DEMOLISH EXISTING ROUND OR SQUARE WOOD COLUMNS AND/OR COLUMNS ALONG WITH CONCRETE PIERS & DEMOLISH EXISTING CONCRETE SLAB ON GROUND.
2. DEMOLISH EXISTING CEILING STARTING PANEL FROM AROUND THE PERIMETER OF THE HOUSE. FROM THE FOUNDATION WALL TO THE BOTTOM OF THE EXISTING WOOD BEAM. PROVIDE NEAT AN CLEAN HORIZON CUTS.
3. DEMOLISH EXISTING WINDOWS IN THEIR ENTIRETY.
4. DEMOLISH EXISTING DOORS IN THEIR ENTIRETY. CAST IRON AND COPPER PLUMBING PIPING ASSOCIATED WITH IT.
5. DEMOLITION MASONRY PARTIAL SUPPORT WALLS IN THEIR ENTIRETY. EXCAVATE AND FLATTEN EXISTING DIRT PILES TO BE EVEN AND LEVEL.
6. DEMOLISH ALL EXISTING ELECTRICAL CONDUIT, BOXES, DEVICES, AND ETC. THAT WILL NOT BE USED AS PART OF THE RENOVATION WORK.
7. DEMOLISH EXISTING CONCRETE FOOTINGS, PIERS, WOOD SUPPORTS AND ALL DEMOLISH EXISTING STEEL INSULATED DOOR TO REVISE EXISTING SWING.
8. DEMOLISH EXISTING STEEL INSULATED DOOR TO REVISE EXISTING SWING.
9. DEMOLISH EXISTING WOOD FRAME INTERIOR PARTITION WALL IN ITS ENTIRETY. REROUTE ANY ELECTRICAL AND/OR PLUMBING THAT MAY BE ASSOCIATED WITH THIS WALL TO SUPPORT THE NEW DESIGN LAYOUT.
10. DEMOLISH EXISTING CAST IRON PIPE AND WALL ENCLOSURE IN THEIR ENTIRETY.
11. DEMOLISH EXISTING DRYWALL, PLYWOOD, AND R-13 INSULATION FROM THE EXISTING WOOD SUB-FLOORING AND INSTALL NEW 2X8 SUPPORT JOIST (SISTERED TO EXISTING 2X8 JOIST) TO PROVIDE A LEVEL SUB-FLOOR.
12. DEMOLISH EXISTING 2X6 WOOD CEILING/FLOOR JOIST ABOVE EXISTING EXISTING ROOM IN ITS ENTIRETY. REMOVE ALL WOOD JOIST FROM THE ELEMENTS UNTIL NEW 2ND LEVEL STRUCTURE HAS BEEN COMPLETELY ERECTED.
13. DEMOLISH EXISTING 2ND LEVEL PORTION OF WOOD FRAMED STRUCTURE IN ENTIRETY. REMOVE ALL EXISTING EXTERIOR SHEETS UNTIL NEW 2ND LEVEL STRUCTURE HAS BEEN COMPLETELY ERECTED.
14. DEMOLISH EXISTING MASONRY CHIMNEY STACK.
15. DEMOLISH SALVAGE FOR REUSE OR RELOCATE EXISTING ELECTRICAL FIXTURES.
16. DEMOLISH EXISTING DOOR IN ITS ENTIRETY. RESIZE OPENING TO RECEIVE NEW 3/4" DOOR.

Chicago, Illinois 60613
 1500 N. Dearborn Street
 Chicago, Illinois 60610
 Tel: 773.765.8173
 Fax: 773.765.8173
 www.landscapegroup.com

EXISTING/ DEMOLITION PLANS

NO.	DESCRIPTION	DATE
1	EXISTING DEMO FLOOR PLAN - BASEMENT	11/11/17
2	EXISTING DEMO FLOOR PLAN - FIRST FLOOR	11/11/17
3	EXISTING DEMO FLOOR PLAN - SECOND FLOOR	11/11/17

D1



1
 31'0" x 14'0"
 DEMOLITION PLAN - BASEMENT

2
 31'0" x 14'0"
 DEMOLITION PLAN - FIRST FLOOR

3
 31'0" x 14'0"
 DEMOLITION PLAN - SECOND FLOOR

CONVERT SINGLE FAMILY RESIDENCE TO 2-DWELLING UNIT 2 FLAT
 (1 150 GARDEN UNIT AND 3 250 UNIT)
Castaneda Gudelup
 EXTERIOR, NEW ENVELOPE AND EXISTING FLOORING REPAIRS NEW INTERIORS
 2835 W CULLERTON, CHICAGO IL 60623

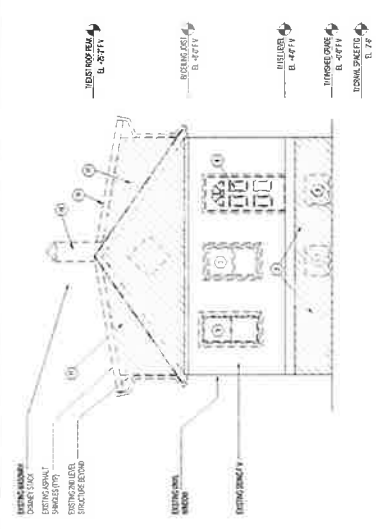


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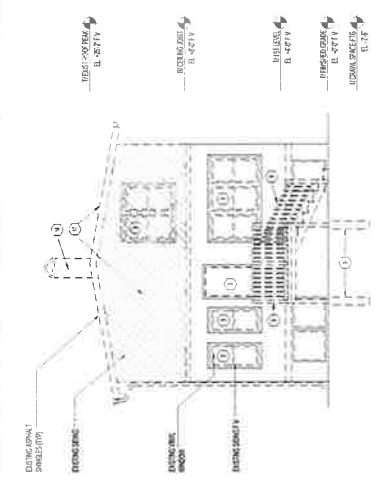
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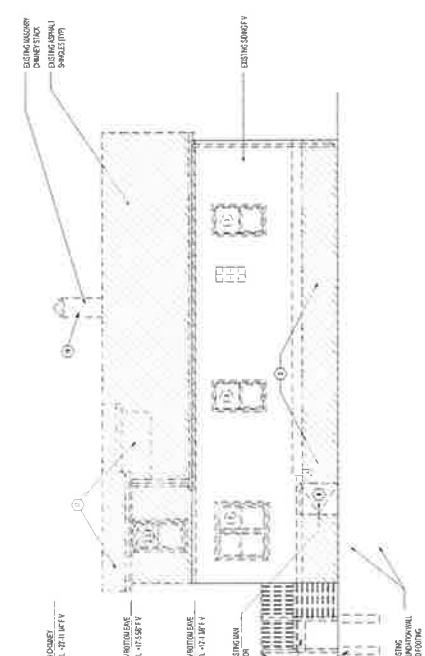
D1



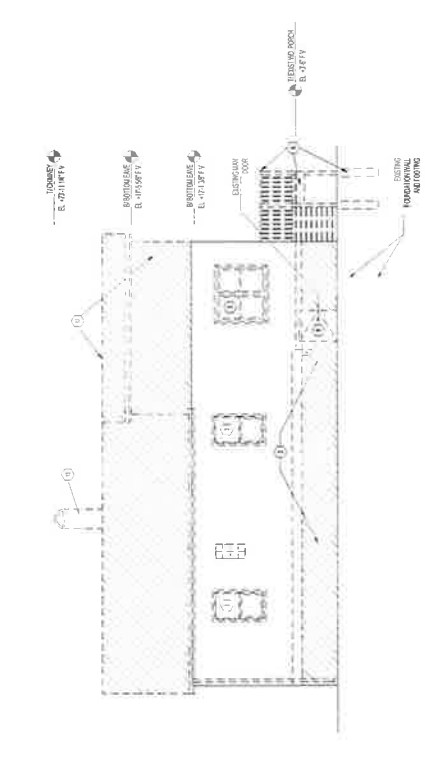
1 EXISTING DEMO ELEVATION-NORTH
3/16/14



2 EXISTING DEMO ELEVATION-SOUTH
3/16/14



3 EXISTING DEMO ELEVATION-EAST
3/16/14



4 EXISTING DEMO ELEVATION-WEST
3/16/14

- GENERAL DEMOLITION NOTES**
- THE CONTRACTOR SHALL PERFORM ALL DEMOLITION WORK IN ACCORDANCE WITH APPLICABLE RULES, REGULATIONS, CODES AND ORDINANCES OF THE STATE AND FEDERAL AUTHORITIES.
 - CONTACT ALL UTILITIES AND AGENCIES CONCERNED WITH THE LOCATION OF ANY EQUIPMENT PRIOR TO DEMOLITION.
 - THE CONTRACTOR SHALL VISIT THE SITE TO EXAMINE THE EXISTING BUILDING, SURROUNDING CONDITIONS, ALL "RECORD" DRAWINGS, AND WILL OBTAIN ALL NECESSARY PERMITS AND DISCREPANCY BETWEEN THE CONTRACT DOCUMENTS AND EXISTING CONDITIONS SHALL BE REPORTED TO THE ARCHITECT IMMEDIATELY.
 - DEMOLITION, REMOVAL AND ALTERATION WORK SHALL BE PERFORMED WITH DUE CARE INCLUDING SHORING, BRACING, ETC. PERFORM PATCHING, RESTORATION, AND NEW WORK AS REQUIRED. DO NOT CUT ANY
 - EXISTING CONDITIONS, UTILITIES, OR BUILDING ELEMENTS. DAMAGED ITEMS SHALL BE REPAIRED AND PROMPTLY RETURNED TO SERVICE WITH NEW MATERIAL TO MATCH EXISTING.
 - PERMISSIONS RECEIVED FROM THE OWNER TO TEMPORARILY INTERRUPT ANY SUCH SERVICE. PERMANENTLY RECONNECT ALL SERVICES DISRUPTED BY THE ALTERATION AND DEMOLITION WORK WHETHER WITHIN OR OUTSIDE OF THE CONTRACT WORK LIMITS.
 - DEMOLITION SHALL BE COMPLETED IN A SAFE AND CLEAN MANNER. CONTRACTOR SHALL CAREFULLY REMOVE ALL WALL COVERING MATERIALS AND PREPARE REMAINING EXISTING PARTITIONS AND WALL SURFACES TO PROTECT THEM FROM DAMAGE.
 - FOLLOWING DEMOLITION, ALL REMAINING FLOOR SURFACES ARE TO BE LEVELED USING A LATEX CEMENTITIOUS FLOOR PRODUCT TO PROVIDE FOR A UNIFORMLY GRADED SURFACE WHERE APPLICABLE.
 - PATCH AND REPAIR ALL FLOOR AND WALL PENETRATIONS ENCOUNTERED AND/OR CEMENTITIOUS PATCH EQUAL TO THE FIRE RATINGS OF THE SURROUNDING SURFACE.
 - DO NOT CUT OR REMOVE ANY PORTION OF THE STRUCTURAL MEMBERS WITHOUT WRITTEN PERMISSION FROM THE STRUCTURAL ENGINEER IS REQUIRED.
 - PROTECT IN PLACE EXIST WOOD FLOOR THAT CAN BE SALVAGED AND REFINISH PER OWNER DIRECTION.
 - REMOVE ALL EXIST. DOOR & WINDOW CASINGS THAT WERE INSTALLED PRIOR TO 1993.
 - REMOVE ALL EXIST. DOOR & WINDOW CASINGS THAT WERE INSTALLED PEAKS AND ETC.) BEFORE MAKING ANY MODIFICATIONS.

- DEMOLITION METHODOLOGIES**
- SHORE UP EXISTING STRUCTURE ABOVE. DEMOLISH EXISTING ROUND OR SQUARE WOOD COLUMNS AND/OR CONCRETE PILARS WITH CONCRETE PIERS & DEMOLISH EXISTING EXTERIOR SKIRTING PANEL FROM AROUND THE PERIMETER OF THE HOUSE. FROM THE FOUNDATION WALL TO THE BOTTOM OF THE EXISTING WOOD BEAM. PROVIDE NEAT AN CLEAN HORIZON CUTS.
 - REMOVE EXISTING EXTERIOR SKIRTING PANEL FROM AROUND THE PERIMETER OF THE HOUSE. FROM THE FOUNDATION WALL TO THE BOTTOM OF THE EXISTING WOOD BEAM. PROVIDE NEAT AN CLEAN HORIZON CUTS.
 - DEMOLISH EXISTING WATER HEATER (GAS, CAST IRON AND COPPER PLUMBING PIPING ASSOCIATED WITH IT).
 - DEMOLITION MASONRY PARTIAL SUPPORT WALLS IN THEIR ENTIRETY.
 - EXCAVATE AND FLATTEN EXISTING DIRT PALES TO BE EVEN AND LEVEL.
 - DEMOLISH ALL EXISTING ELECTRICAL CONDUIT, BOXES, DEVICES AND ETC. THAT WILL NOT BE USED AS PART OF THE RENOVATION WORK.
 - DEMOLISH EXISTING ACCESS DOOR PANEL IN ITS ENTIRETY.
 - DEMOLISH EXISTING CONCRETE FOOTINGS, PIERS, WOOD SUPPORTS AND ALL OTHER STRUCTURAL MEMBERS.
 - DEMOLISH EXISTING STEEL INSULATED DOOR TO REUSE EXISTING SWING ENTRY, REROUTE ANY ELECTRICAL AND/OR PLUMBING THAT MAY BE ASSOCIATED WITH THIS WALL TO SUPPORT THE NEW DISJUNCTION OUTLET.
 - DEMOLISH EXISTING CAST IRON PIPE AND WALL ENCLOSURE IN THEIR ENTIRETY.
 - REMOVE EXISTING CEILING, PLUMBING AND RISERS IN ENTIRETY FROM THE INTERIOR SIDE OF ALL EXTERIOR WALLS AND FROM ALL CEILINGS.
 - DEMOLISH EXISTING WOOD SUB FLOORING AND INSTALL NEW 2X10 SUPPORT JOIST (SISTERED TO EXISTING 2X8 JOIST) TO PROVIDE A LEVEL SUB FLOOR.
 - DEMOLISH EXISTING 2X6 WOOD CEILING, FLOOR JOIST ABOVE.
 - REMOVE EXISTING EXTERIOR SKIRTING PANEL FROM AROUND THE PERIMETER OF THE HOUSE AND DOWN SPOUTS (ANG ETC.) PROTECT INSIDE STRUCTURE FROM THE ELEMENTS UNTIL NEW 2ND LEVEL STRUCTURE HAS BEEN COMPLETELY ERECTED.
 - DEMOLISH EXISTING 2ND LEVEL PORTION OF WOOD FRAMED STRUCTURE IN ENTIRETY.
 - REMOVE EXISTING EXTERIOR WALLS AND RISERS UNTIL NEW 2ND LEVEL STRUCTURE HAS BEEN COMPLETELY ERECTED.
 - DEMOLISH EXISTING MASONRY CHIMNEY STACK.
 - DEMOLISH (SALVAGE FOR REUSE) OR RELOCATE EXISTING ELECTRICAL AND/OR PLUMBING EXISTING DOOR IN ITS ENTIRETY. RESIZE OPENING TO RECEIVE NEW 24" DOOR.

THE ABOVE DEMOLITION METHODOLOGIES SHALL BE USED TO DEMOLISH THE EXISTING STRUCTURE AND TO PREPARE THE SITE FOR CONSTRUCTION OF THE NEW STRUCTURE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND DISCREPANCY BETWEEN THE CONTRACT DOCUMENTS AND EXISTING CONDITIONS SHALL BE REPORTED TO THE ARCHITECT IMMEDIATELY.

CONVERT SINGLE FAMILY RESIDENCE TO 2-DWELLING UNIT 2 FLAT
 1 GROUND FLOOR AND 1 2ND UNIT
 EXTERIOR, NEW ENVELOPE AND EXISTING FOOTING REPAIRS NEW INTERIORS

Castaneda
 2835 W CULLERTON, CHICAGO IL 60623

Architect: **Castaneda**
 2835 W CULLERTON, CHICAGO IL 60623
 TEL: 773.477.1111
 WWW.CASTANEDAARCHITECTS.COM

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	03/16/14
2	REVISION	

Architect: **Castaneda**
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Contractor: **Castaneda**
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Project Name: **CONVERT SINGLE FAMILY RESIDENCE TO 2-DWELLING UNIT 2 FLAT**
 2835 W CULLERTON, CHICAGO IL 60623

Project No.: **2835 W CULLERTON**
 Project Date: **03/16/14**
 Project Status: **ISSUED FOR PERMIT**

Project Location: **2835 W CULLERTON, CHICAGO IL 60623**

Project Description: **CONVERT SINGLE FAMILY RESIDENCE TO 2-DWELLING UNIT 2 FLAT**

Project Owner: **Castaneda**
 2835 W CULLERTON, CHICAGO IL 60623
 TEL: 773.477.1111
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EXISTING/ DEMO ELEVATIONS

PROJECT NO.: **2835 W CULLERTON**
 SHEET NO.: **100027**
 DATE: **03/16/14**
 DRAWN BY: **CASTANEDA**
 CHECKED BY: **CASTANEDA**

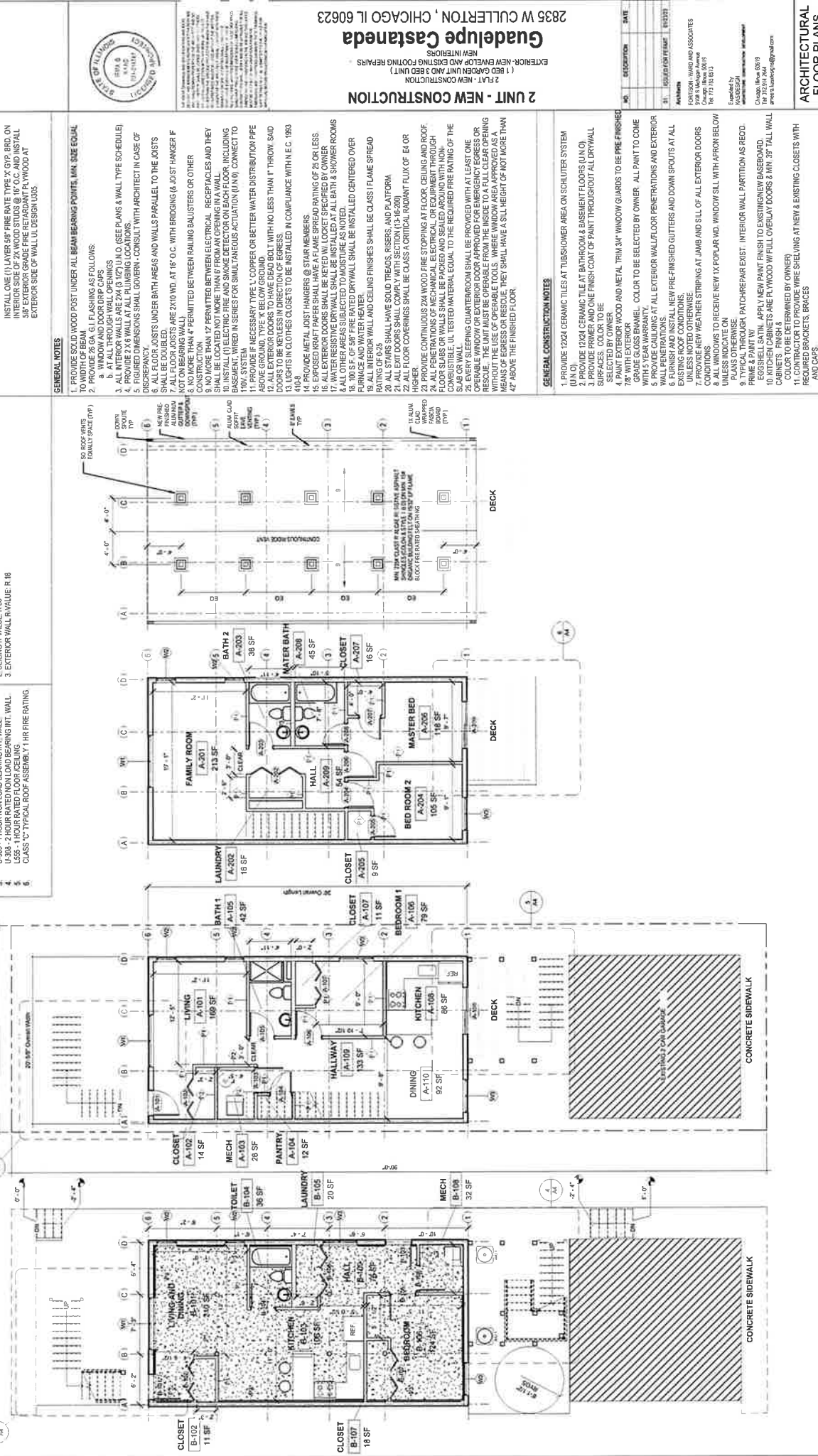
D2

FIRE RATING & UL LISTING TYPES

- U-600 - 1-HOUR GATED LOAD BEARING EXT. WALL
- U-604 - 1-HOUR GATED LOAD BEARING INT. WALL
- U-306 - 1-HOUR NONLOAD BEARING INT. WALL
- U-308 - 2-HOUR RATED NONLOAD BEARING INT. WALL
- U-55 - 1-HOUR RATED FLOOR CEILING
- CLASS 'C' TYPICAL ROOF ASSEMBLY 1 HR FIRE RATING

ENERGY CODE

- GEN. CONTRACTOR SHALL PROVIDE THE MIN. U. OR R-VALUES AS FOLLOWS:
- GLAZING U-VALUE: 0.33
- CEILING R-VALUE: R-39
- EXTERIOR WALL R-VALUE: R-18



1 FLOOR PLAN - UNIT B 3/16" = 1'-0"

2 FLOOR PLAN - UNIT A - FIRST LEVEL 3/16" = 1'-0"

3 FLOOR PLAN - UNIT A - SECOND LEVEL 3/16" = 1'-0"

4 ROOF PLAN 3/16" = 1'-0"

WALL LEGEND

INSTALL ONE (1) LAYER 5/8" FIRE RATE TYPE 'X' GYP. BRD. ON EA. SIDE OF 2X WOOD STUDS @ 16" O.C. UL DESIGN U305

INSTALL ONE (1) LAYER 5/8" FIRE RATE TYPE 'X' GYP. BRD. ON INTERIOR SIDE OF 2X WOOD STUDS @ 16" O.C. AND INSTALL EXTERIOR SIDE OF WALL UL DESIGN U305

GENERAL NOTES

- PROVIDE SOLID WOOD POST UNDER ALL BEAM BEARING POINTS, MIN. SIZE EQUAL TO BEAM.
- PROVIDE AS PER G.I. FLASHING AS FOLLOWS:
 - WINDOW AND DOOR DRIP CAPS
 - AT ALL THROUGH-WALL OPENINGS
- ALL INTERIOR WALLS ARE 7/8" (1) U.O. (SEE PLANS & WALL TYPE SCHEDULE)
- ALL EXTERIOR WALLS ARE 2X WOOD STUDS @ 16" O.C. AND INSTALL EXTERIOR SIDE OF WALL UL DESIGN U305
- FIGURED DIMENSIONS SHALL GOVERN - CONSULT WITH ARCHITECT IN CASE OF DISCREPANCY.
- ALL FLOOR JOISTS UNDER BATH AREAS AND WALLS PARALLEL TO THE JOISTS SHALL BE DOUBLED.
- NO MORE THAN 4' PERMITTED BETWEEN RAILING BALUSTERS OR OTHER NOT ON BEARING WALLS.
- 17' PERMITTED BETWEEN ELECTRICAL RECEPTACLES AND THEY SHALL BE LOCATED NOT MORE THAN 1' FROM AN OPENING IN A WALL.
- INSTALL (1) ELECTRIC FIRE AND SMOKE DETECTOR ON EACH FLOOR, INCLUDING BASEMENT, WIRED IN SERIES FOR SIMULTANEOUS ACTUATION (U.N.O.) CONNECT TO 100V SYSTEM NECESSARY TYPE 1 COPPER OR BETTER WATER DISTRIBUTION PIPE ABOVE GROUND, TYPE 'X' BELOW GROUND.
- ALL EXTERIOR DOORS TO HAVE DEAD BOLT WITH NO LESS THAN 1" THROW SAID DOORS TO BE KEYS IN DIRECTION OF EGRESS.
- ALL LIGHTS IN CLOSET ARE TO BE INSTALLED IN COMPLIANCE WITH I.E.C. 1803
- PROVIDE METAL JOIST HANGERS @ STAR MEMBERS
- 5 EXPOSED KRAFT PAPER SHALL HAVE A FLAME SPREAD RATING OF 25 OR LESS.
- ALL EXTERIOR DOORS SHALL BE KEYS IN LOCKED POSITION.
- ALL BATH & SHOWER ROOMS & ALL OTHER AREAS SUSCEPTIBLE TO MOISTURE AS NOTED.
- ALL OTHER AREAS SUSCEPTIBLE TO MOISTURE AS NOTED.
- 100 SF OF 5/8" FIRE RATED DRYWALL SHALL BE INSTALLED CENTERED OVER PURNACE AND WATER HEATER
- ALL INTERIOR WALL AND CEILING FINISHES SHALL BE CLASS I FLAME SPREAD HIGHER
- ALL STAIRS SHALL COMPLY WITH SECTION (13-16-200)
- ALL FLOOR COVERINGS SHALL BE CLASS A CRITICAL RADIANT FLUX OF E4 OR HIGHER
- THE CONTINUOUS 2X4 WOOD FIRE STOPPING AT FLOOR, CEILING AND ROOF FLOOR SLABS OR WALLS SHALL BE PACKED AND SEALED AROUND WITH NON-COMBUSTIBLE U.L. TESTED MATERIAL EQUAL TO THE REQUIRED FIRE RATING OF THE 2X4 OR GYPSUM BOARD
- ALL SLEEPING QUARTER ROOMS SHALL BE PROVIDED WITH AT LEAST ONE OPERABLE WINDOW OR EXTERIOR DOOR APPROVED FOR EMERGENCY EGRESS OR RESCUE. THE UNIT MUST BE OPERABLE FROM THE INSIDE TO A FULL CLEAR OPENING WITHOUT THE USE OF OPERABLE TOOLS. WHERE WINDOW AREA APPROVED AS A SECONDARY EGRESS EXIT, THE WINDOW SHALL HAVE A SILL HEIGHT OF NOT MORE THAN 42" ABOVE THE FINISHED FLOOR.

GENERAL CONSTRUCTION NOTES

- PROVIDE 12X24 CERAMIC TILE AT TUB/SHOWER AREA ON SCLUTLER SYSTEM
- PROVIDE 12X24 CERAMIC TILE AT BATHROOM & BASEMENT FLOORS (U.N.O.)
- PROVIDE PRIMER AND ONE FINISH COAT OF PAINT THROUGHOUT ALL DRYWALL SURFACES. COLOR TO BE SELECTED BY OWNER
- PAINT EXTERIOR WOOD AND METAL TRIM 3/4" WINDOW GUARDS TO BE PRE FINISHED GRADE GLOSS ENAMEL. COLOR TO BE SELECTED BY OWNER. ALL PAINT TO COME WITH 5 YEAR WARRANTY.
- PROVIDE CALLING AT ALL EXTERIOR WALL/FLOOR PENETRATIONS AND EXTERIOR EXISTING ROOF CONDITIONS.
- FURNISH AND INSTALL NEW PRE-FINISHED GUTTERS AND DOWN SPOUTS AT ALL EXISTING ROOF CONDITIONS.
- UNLESS NOTED OTHERWISE
- PROVIDE WEATHER STRIPPING AT JAMB AND SILL OF ALL EXTERIOR DOORS
- ALL WINDOWS TO RECEIVE NEW 1X POPLAR W.D. WINDOW SILL WITH AFFRON BELOW PLANS OTHERWISE
- PROVIDE WEATHER STRIPPING AT JAMB AND SILL OF ALL EXTERIOR DOORS
- EXISTING DOOR, PATCH/REPAIR EXIST. INTERIOR WALL PARTITION AS RECD. PRIME PAINT W/
- KITCHEN CABINETS ARE PLYWOOD W/ FULL OVERLAY DOORS & MIN. 3/8" TALL WALL CABINETS. FINISH & HARDWARE TO BE DETERMINED BY OWNER
- CONTRACTOR TO PROVIDE WIRE SHELVING AT NEW & EXISTING CLOSETS WITH REQUIRED BRACKETS, BRACES AND CAPS
- PROVIDE STORM DOORS AT EXTERIOR ENTRY DOORS.

12' 6' 3' 0' N
SCALE: 3/16" = 1'-0"

ARCHITECTURAL FLOOR PLANS

COLLECTED: 11/13/2019
DATE: 11/20/20
DRAWN BY: JAO
CHECKED BY: JAO

2 UNIT - NEW CONSTRUCTION

2 FLA - NEW CONSTRUCTION
1 REG. GARDEN UNIT AND 3 REG. UNIT
EXTENSION (NEW ENVELOPE AND EXISTING FOOTING REPAIRS)
NEW INTERIORS

Guadalupe Castañeda
2835 W CULLERTON, CHICAGO IL 60623

FOR MORE INFORMATION CONTACT: AMERICA
AMERICA ARCHITECTURE INC. 1000 N. LAKEVIEW AVENUE
CHICAGO, ILLINOIS 60610
TEL: 773.751.8131

FOR MORE INFORMATION CONTACT: AMERICA
AMERICA ARCHITECTURE INC. 1000 N. LAKEVIEW AVENUE
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TO 2 - DWELLING UNIT 2 FLAT
CONVERT SINGLE FAMILY RESIDENCE
1 BED GARDEN UNIT AND EXISTING FOOTING REPAIRS NEW INTERIORS
2835 W CULLERTON, CHICAGO IL 60623



GENERAL LOAD INFORMATION

LIVE LOAD - ROOF	35 PSF - DRIFTING EFFECTS
DEAD LOADS	
SINGLE PLY MEMBRANE	2 PSF
INSULATION	3 PSF
DECK	4 PSF
STRUCTURE	5 PSF
CLING	3 PSF
HVAC	2 PSF
MISC	2 PSF

SUPERIMPOSED FLOOR LOADS:

LIVE LOADS	
RESIDENTIAL AREA	30 PSF
MAN FLOOR	40 PSF
PORCH & DECK	100 PSF

DEAD LOADS:

PARTITIONS	10 PSF
SHEATHING	3 PSF
STRUCTURE	8 PSF
CLING	3 PSF
HVAC	3 PSF
MISC	3 PSF

WIND LOADS, CRITERIA:

BASIC WIND SPEED	20 PSF UP TO 200'
------------------	-------------------

LINTELSCHEDULE:

HEADERS SHALL COMPLY WITH THE FOLLOWING STANDARDS:
INCHES
HEADERS SIZE
MAX. ALLOWABLE R.O

L1 = 2 x 4	W/PLYWOOD FILLER	4'-5"
L2 = 2 x 4	W/PLYWOOD FILLER	7'-0"
L3 = 2 x 4	W/PLYWOOD FILLER	10'-0"
L4 = 2 x 4	W/PLYWOOD FILLER	14'-0"
L5 = 2 x 4	W/PLYWOOD FILLER	17'-0"
L6 = 2 x 4	W/PLYWOOD FILLER	17'-0"
L7 = 2 x 4	W/PLYWOOD FILLER	20'-0"

STEEL LINTELSCHEDULE:

STEEL LINTELS ARE REQUIRED FOR ALL MASONRY OPENINGS AS FOLLOWS:

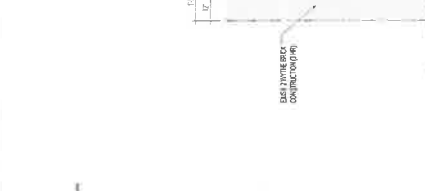
0'-4'-0"	6" BEARING
4'-0" - 8'-0"	IL 4" x 3 1/2" x 5/16"
8'-0" - 8'-0"	IL 5" x 3 1/2" x 5/16"
8'-0" - 8'-0"	IL 5" x 3 1/2" x 5/16"

NOTE: 1. INSTALL TWO (2) 2x4's WITH ONE (1) PLYWOOD FILLER AT ALL BARR DOOR PLYWOOD FILLER (AS SIZE WILL VARY ACCORDING TO OPENING SPAN)

GENERAL ROOF NOTES:

- CONTRACTOR TO FIELD VERIFY ALL CONDITIONS PRIOR REMOVING AND CONSTRUCTING THE NEW ROOF.
- CONTRACTOR SHALL CONFORM TO ALL APPLICABLE BUILDING CODES (LOCAL OR INTERNATIONAL) WHICH EVER IS MOST STRINGENT.
- ROOFING SHALL BE PERFORMED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
- ROOFERS ARE 2X10 @ 16" O.C. UNLESS NOTED OTHERWISE.
- MECHANICAL FASTENERS, BRACING, HANGERS, HURRICANE TIE DOWN, RIGID SYNTHETIC UNDERLATH, GROUND PROTECTIVE SHEETING, FLASHING, PROVIDE A MINIMUM OF 3x6 GOSSES FILL DOWN INSULATION IN ATTIC SPACE.
- PROVIDE FULL COND LIGHT IN ATTIC SPACE AT ENTRANCE OF SCUTTLE ACCESS.
- ROOF SHALL BE NECESSARY FLASHING WHERE ROOF & CHIMNEY AND WHERE ROOF & WALL MEETS.

8 - RATED WALL ASSEMBLY
3/8" x 1-1/4"



9 - RATED CEILING ASSEMBLY
3/8" x 1-1/4"



7 - P4-FURRED OUT WALL DETAIL
1/8" x 1-1/4"

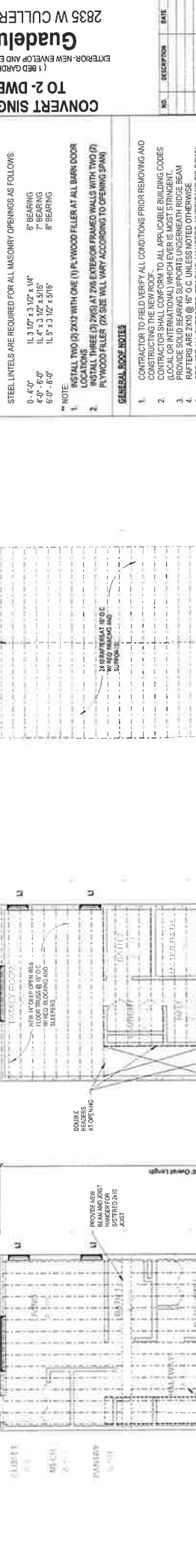
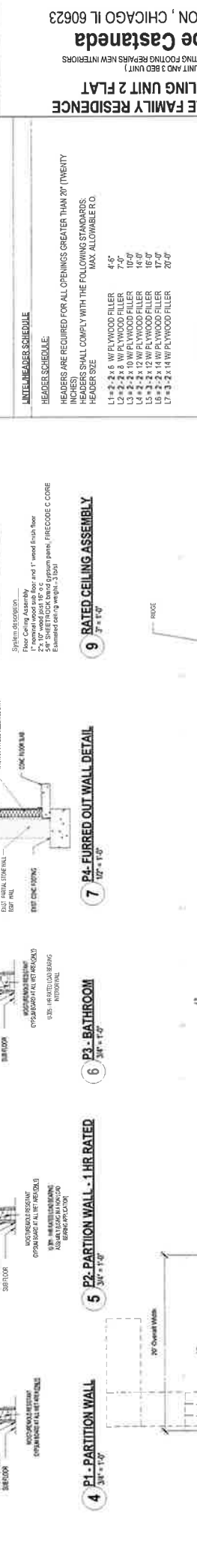


6 - P3-BATHROOM
3/8" x 1-1/4"



5 - P2-PARTITION WALL - 1 HR RATED
3/8" x 1-1/4"

4 - P1-PARTITION WALL
3/8" x 1-1/4"



NOTE: MOISTURE-RESISTANT GYPSUM BOARD AT ALL WET AREAS. (ONLY)

1 FRAMING PLAN - FIRST FLOOR
31'6" x 11'0"

2 FRAMING PLAN - SECOND FLOOR
31'6" x 11'0"

3 FRAMING PLAN - ROOF
31'6" x 11'0"

FRAMING PLANS

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KACUSKA
ARCHITECTS, INC.

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PROJECT NO. 21-1031 SHEET NO. 1
DATE: 11/03/22
DRAWN BY: AUC
CHECKED BY: RW

NO.	DESCRIPTION	DATE

SCALE: 3/16" = 1'-0"

12" 6" 3" 0

N

A2

CONTRACTOR TO FIELD VERIFY ALL CONDITIONS PRIOR REMOVING AND CONSTRUCTING THE NEW ROOF.
CONTRACTOR SHALL CONFORM TO ALL APPLICABLE BUILDING CODES (LOCAL OR INTERNATIONAL) WHICH EVER IS MOST STRINGENT.
ROOFING SHALL BE PERFORMED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
ROOFERS ARE 2X10 @ 16" O.C. UNLESS NOTED OTHERWISE.
MECHANICAL FASTENERS, BRACING, HANGERS, HURRICANE TIE DOWN, RIGID SYNTHETIC UNDERLATH, GROUND PROTECTIVE SHEETING, FLASHING, PROVIDE A MINIMUM OF 3x6 GOSSES FILL DOWN INSULATION IN ATTIC SPACE.
PROVIDE FULL COND LIGHT IN ATTIC SPACE AT ENTRANCE OF SCUTTLE ACCESS.
ROOF SHALL BE NECESSARY FLASHING WHERE ROOF & CHIMNEY AND WHERE ROOF & WALL MEETS.

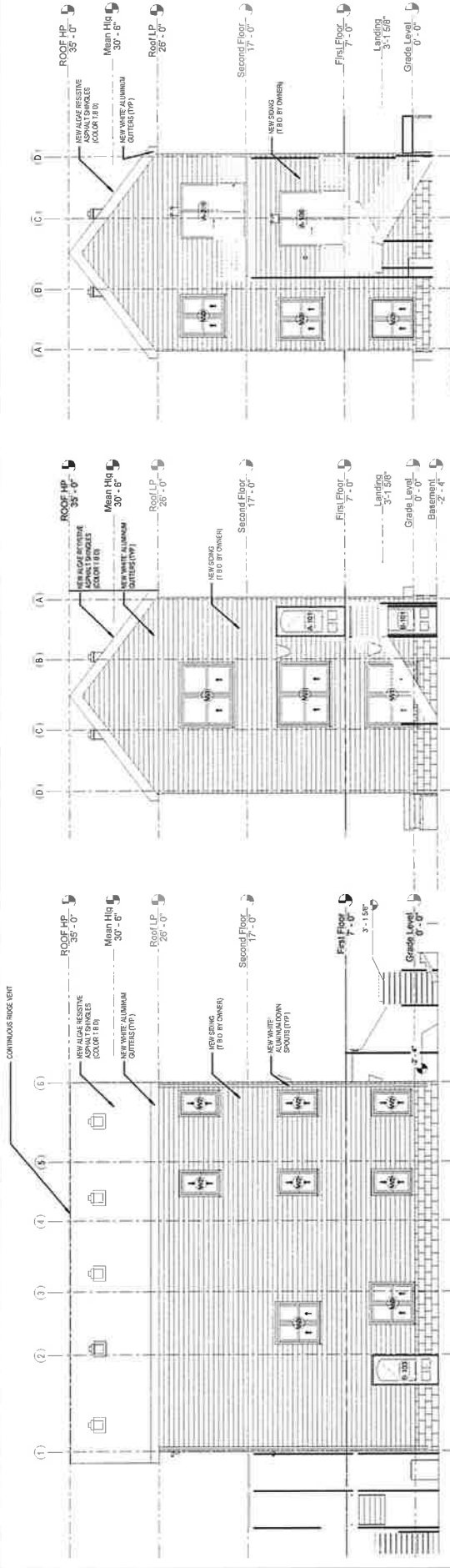


2 UNIT - NEW CONSTRUCTION
 EXTERIOR-NEW ENVELOPE AND EXISTING FOOTING REPAIRS
 NEW INTERIORS

Guadelupe Castaneda
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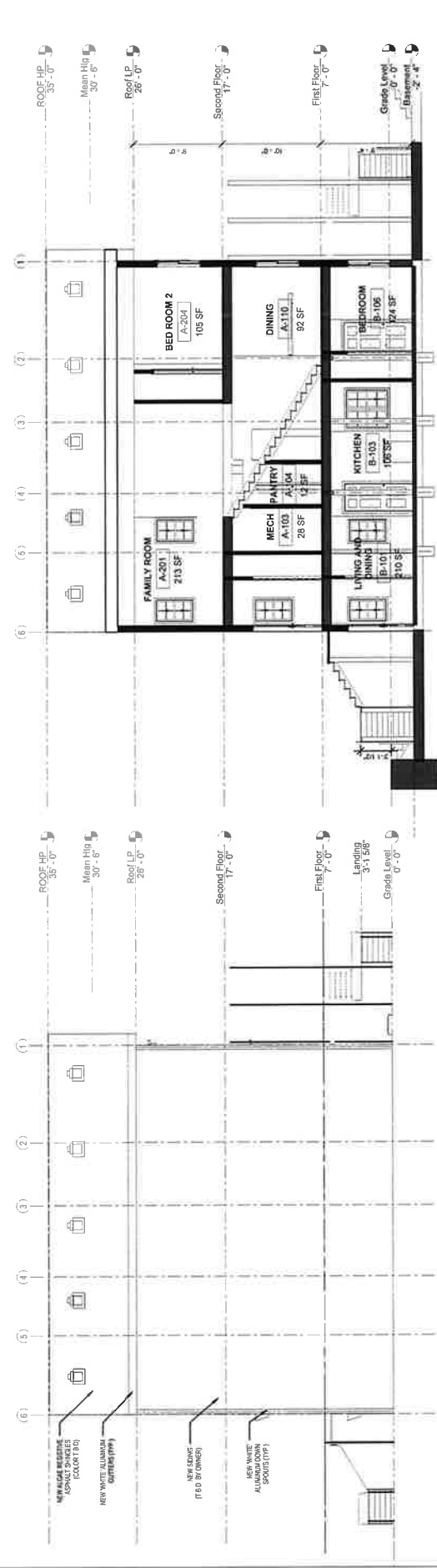
PROJECT NO. 111111
 DATE 01/2021
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 PROJECT: [Name]
 SECTION: ELEVATIONS AND SECTION
 SHEET: A3



1 EAST ELEVATION
 3/16" = 1'-0"

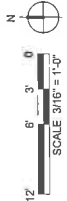
2 NORTH ELEVATION
 3/16" = 1'-0"

3 SOUTH ELEVATION
 3/16" = 1'-0"



4 WEST ELEVATION
 3/16" = 1'-0"

5 BUILDING SECTION
 3/16" = 1'-0"

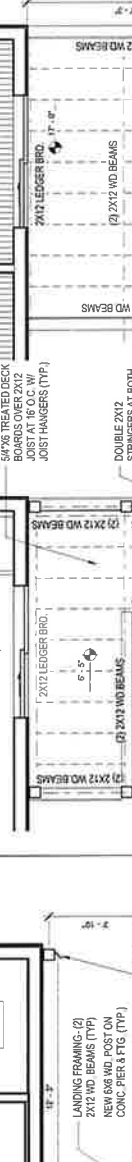


1 FRONT STAIR - LOWER LEVEL
 3/8" = 1'-0"



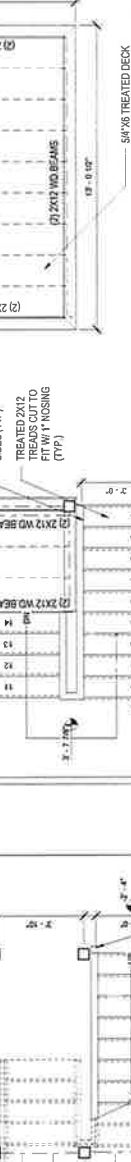
1 FRONT STAIR - LOWER LEVEL
 3/8" = 1'-0"

2 FRONT STAIR - FIRST FLOOR LEVEL
 3/8" = 1'-0"



2 FRONT STAIR - FIRST FLOOR LEVEL
 3/8" = 1'-0"

3 FRONT STAIR
 SCALE: 1/4" = 1'-0"



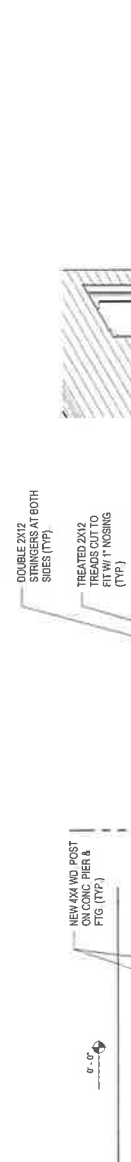
3 FRONT STAIR
 SCALE: 1/4" = 1'-0"

4 REAR STAIR - BASEMENT LEVEL
 3/8" = 1'-0"



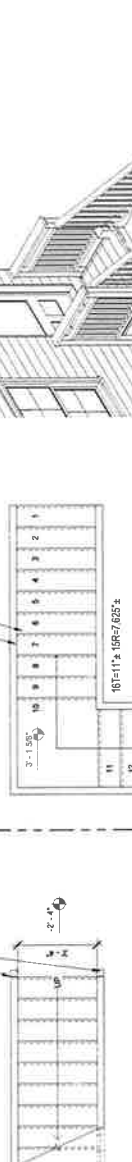
4 REAR STAIR - BASEMENT LEVEL
 3/8" = 1'-0"

5 REAR STAIR - FIRST FLOOR LEVEL
 3/8" = 1'-0"



5 REAR STAIR - FIRST FLOOR LEVEL
 3/8" = 1'-0"

6 REAR STAIR - SECOND FLOOR LEVEL
 3/8" = 1'-0"



6 REAR STAIR - SECOND FLOOR LEVEL
 3/8" = 1'-0"

7 REAR STAIR



7 REAR STAIR

CONVERT SINGLE FAMILY RESIDENCE TO 2-DWELLING UNIT 2 FLAT
 (1 SED GARDEN UNIT AND 3 SED UNIT)
 EXTERIOR - NEW ENVELOP AND EXISTING FLOORING REPAIRS NEW INTERIORS

2835 W CULLERTON, CHICAGO IL 60623

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 Tel 773.785.5313

Contractor
 KACZORSON
 ABBOTT ROAD, CHICAGO, ILLINOIS
 Chicago, Illinois 60613
 Tel 773.785.5313
 email: kaczorson@aig.com

PANELS: 11.11.18, SHEET NO
 DATE: 11.29.17
 QUANTITY: 1
 CHECKED BY: KAC

ENLARGED PORCH VIEWS

A4



STATE OF ILLINOIS
 ARCHITECT
 LICENSED PROFESSIONAL

