

Narrative and Plans
Type-1 Zoning Map Amendment
For 1606 W. Balmoral Ave./5404 N. Ashland Ave.
From RS-3 to B2-3

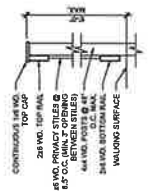
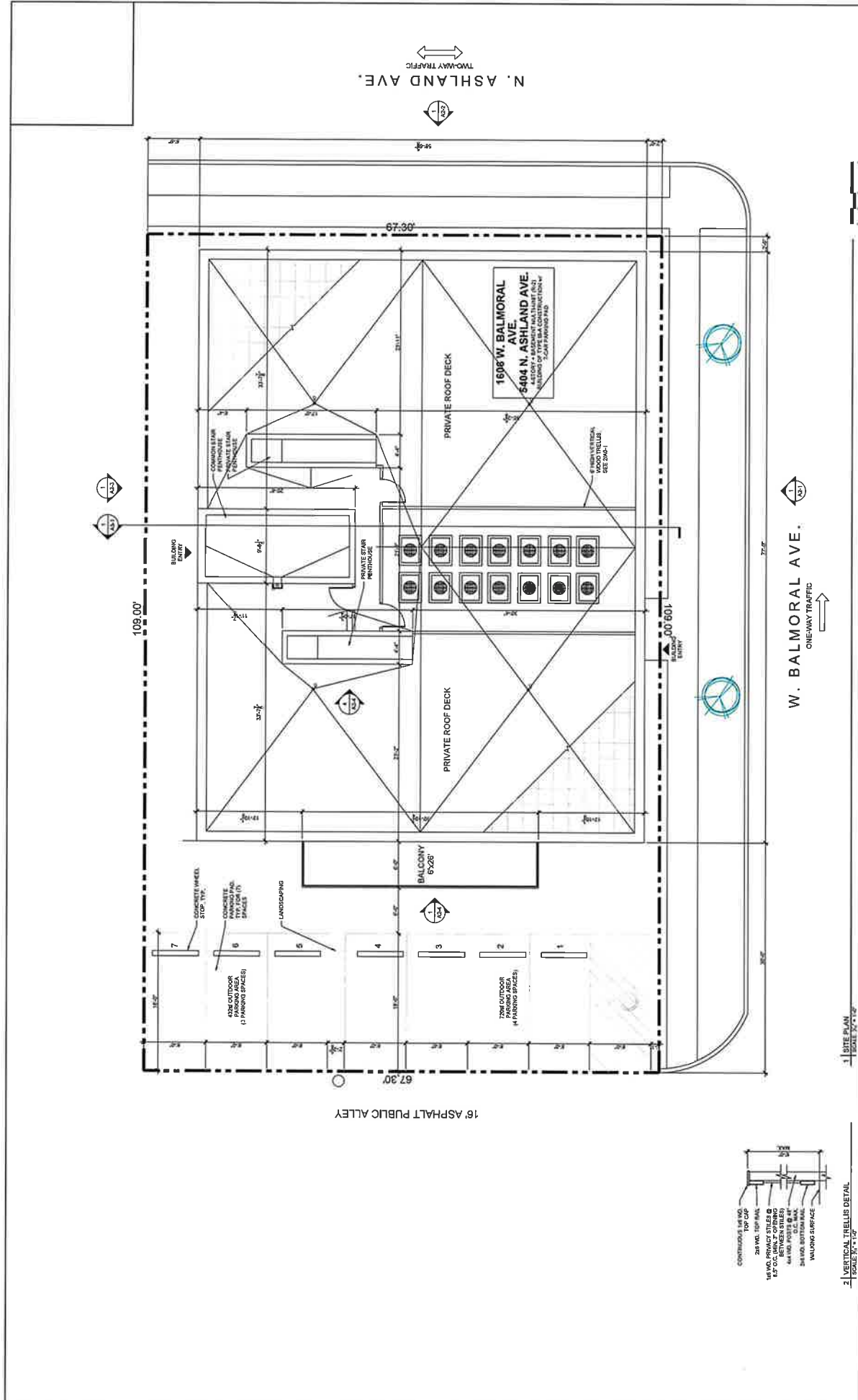
1.A. The applicant seeks a zoning change from RS-3 to B2-3 to meet the bulk and density requirements to allow the construction of a new 4 story 15-unit residential building with 7 parking spaces. The applicant is also filing this Type 1 application to apply for Optional Administrative Adjustments pursuant to the provisions of 17-13-0303-D to reduce the parking space requirement from 8 spaces to 7 spaces and pursuant to the provisions of 17-13-1003(1) to reduce the required combined side yard setback from 13.46' to 8.75'.

FAR	18,033 / 7,343.33 =	2.46
Building Area		18,033 sq. ft.
Density (MLA) (15 D.U. Proposed)		489.56 sq. ft.
Lot Area		7,343.33 sq. ft.
Building Height		56' - 2"
Front Setback		2'-0"
Rear Setback		30'-0"
**North Side Setback		6'-9"
**South Side Setback		2'-0"
*Parking		7 SPACES

as per 17-13-0303-D, applicant will seek relief under these specific sections:

* an administrative adjustment as per Section 17-13-1003-EE (1) to reduce the required parking spaces from 8 to 7.

** an administrative adjustment as per section 17-13-1003-I (1) to reduce the required combined side yard setback from 13.46' to 8.75'. a reduction of less than 50%.



2 | VERTICAL TRELLIS DETAIL
SCALE: 3/4" = 1'-0"

1 | SITE PLAN
SCALE: 3/4" = 1'-0"

1608 W. BALMORAL AVE.
5404 N. ASHLAND AVE.
SECOND FLOOR PLAN
1000 S. STATE PARKWAY #10

1608 WEST
BALMORAL AVE.
5404 NORTH
ASHLAND AVE.
CHICAGO, IL

COMPASS ARCHITECTURE, LLC
1000 S. STATE PARKWAY #10
CHICAGO, IL 60607
TEL: 312.467.1000
WWW.COMPASSARCHITECTURE.COM

DATE: _____
DRAWN BY: _____
CHECKED BY: _____
REVISIONS:

NO.	DATE	DESCRIPTION
1		

1608 WEST BALMORAL AVE. / 5404 NORTH ASHLAND AVE. CHICAGO, IL
A0-1

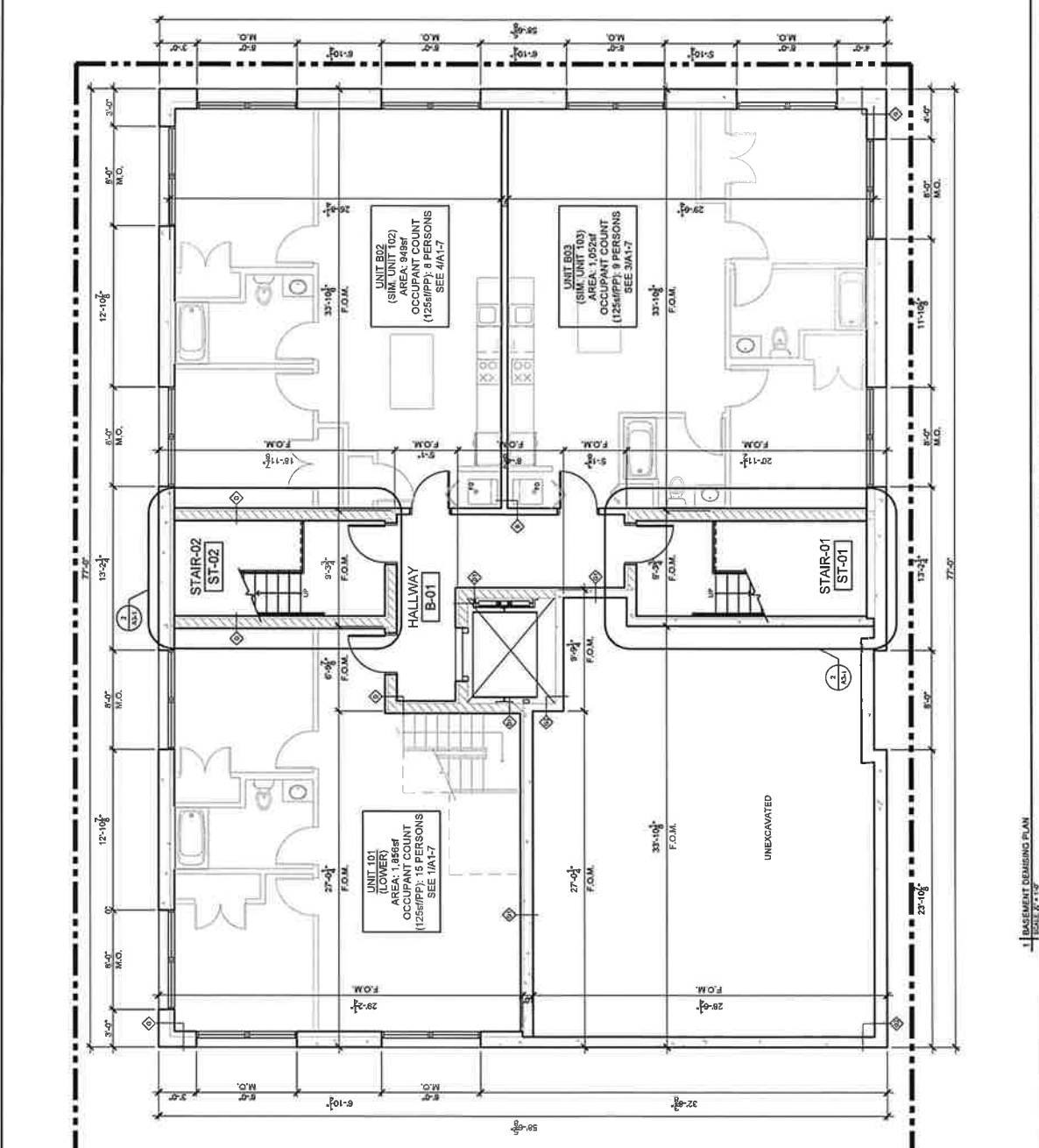
FLOOR PLAN REMARKS:

1. COLLARS AND WALLS ARE DESIGNATED WITH THE BULLET AND MUST BE APPLICABLE TO THIS SHEET AND PROVIDING THE U.I. AND THE FINISHING FOR EACH CONSTRUCTION ASSEMBLY.
2. ALL WALLS ARE CONSTRUCTION TYPE 'X' UNLESS OTHERWISE NOTED.
3. DIMENSIONS ARE TO MATERIAL, UNLESS NOTED OTHERWISE.
4. VERIFY ALL WINDOW AND DOOR ROUGH DIMENSIONS AND FINISHES WITH MANUFACTURER AND ADJUST ACCORDINGLY.
5. ALL DOOR QUALITIES SHALL BE TEMPEPRED.
6. PROVIDE BLOCKING AT ALL DOOR AND WINDOW THRESHOLDS TO BE INSTALLED BY THE OWNER.
7. VERIFY ALL PLUMBING ROUGH FRAMING DIMENSIONS WITH THE OWNER. SELECTED DIMENSIONS SHALL BE AS SHOWN ON THIS SHEET.
8. COORDINATE FLOOR AND ROOF FINISHES WITH ARCHITECT AND PROVIDE WORK TO AVOID POTENTIAL CONFLICTS.
9. PROVIDE RIB AND LABEL AT ALL CLOSETS, LINEN CLOSET AND PANTRY LINEN.
10. PROVIDE FINISHED END PANELS ON SDOE INCLUDING AT DISHWASHER.
11. ALL INTERIOR STAIR HANDRAILS TO BE LOCATED 34" ABOVE THE STAIR nosing.
12. ALL INTERIOR STAIR HANDRAILS TO BE FULLY ADHERED UNLESS A COFFICED 2x4-1" OPENING BETWEEN UNITS. SEE 4/A1-17.
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GENERAL NOTES:

1. ALL INTERIOR WALL AND CEILING FINISHES SHALL BE AS SHOWN ON THIS SHEET.
2. ALL FLOOR COVERINGS SHALL HAVE A FLAME SPREAD RATING OF 2 OR BETTER.
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NO.	DATE	DESCRIPTION
1	2024-01-15	ISSUED FOR PERMITS
2	2024-01-20	REVISED PER COMMENTS
3	2024-02-01	REVISED PER COMMENTS
4	2024-02-15	REVISED PER COMMENTS
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45	2025-04-01	REVISED PER COMMENTS
46	2025-04-15	REVISED PER COMMENTS
47	2025-04-20	REVISED PER COMMENTS
48	2025-05-01	REVISED PER COMMENTS
49	2025-05-15	REVISED PER COMMENTS
50	2025-05-20	REVISED PER COMMENTS



1 | BASEMENT DEAMING PLAN
SCALE: 1/8" = 1'-0"

compass
ARCHITECTURAL, LLC
1000 N. LAKE ST. SUITE 100
CHICAGO, IL 60610
TEL: 312.467.1000
WWW.COMPASSARCHITECTURAL.COM

1606 WEST
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5404 NORTH
ASHLAND AVE.
CHICAGO, IL

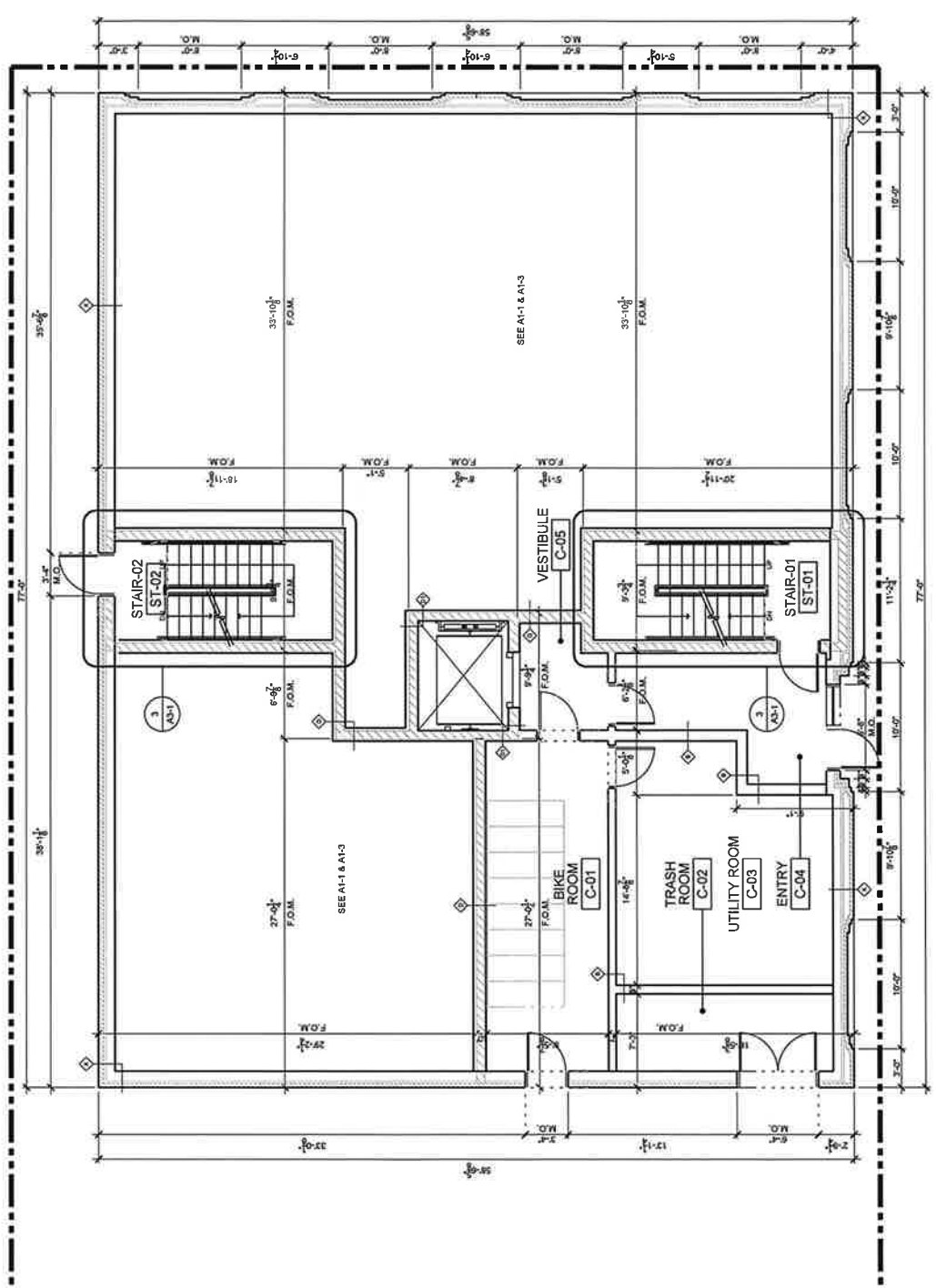
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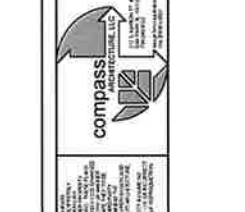
- FLOOR PLAN DETAILS**
1. COLLARS AND WALLS ARE DESIGNATED BY DIMENSIONS AND SHALL BE CONSTRUCTION ASSEMBLY FOR EACH CONSTRUCTION ASSEMBLY.
 2. ALL WALLS ARE CONSTRUCTION TYPE "X" UNLESS NOTED OTHERWISE.
 3. VERIFY ALL WINDOW AND DOOR ROUGH OPENINGS AND MASONRY OPENINGS MANUFACTURED AND ADJUST ACCORDING TO MANUFACTURER'S INSTRUCTIONS.
 4. ALL DOOR CASINGS SHALL BE TEMPERED TO MATCH THE DOOR.
 5. PROVIDE BLOCING AT ALL DOOR AND WINDOW THRESHOLDS.
 6. VERIFY ALL PLUMBING ROOM FRAMING DIMENSIONS WITH THE OWNER SELECTED TRADES PRIOR TO CONSTRUCTION.
 7. COORDINATE FLOOR AND ROOF FINISH LAYOUT WITH PLUMBING AND HVAC TRADES TO AVOID POTENTIAL CONFLICTS.
 8. VERIFY ALL FINISHES ARE AS SHOWN ON DRAWINGS AND APPROVAL TO GENERAL CONTRACTOR AND APPROVAL TO GENERAL CONTRACTOR.
 9. PROVIDE ROOF SHEET AT ALL ROOFS, ALL ROOF FLASHING AND FINISHES SHALL BE AS SHOWN ON DRAWINGS.
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GENERAL FINISH NOTES:

1. ALL INTERIOR WALL AND CEILING FINISHES SHALL BE CLASS 1 FINISH WITH A FLAME PROPAGATION INDEX (FPI) OF 0.10 OR LESS.
2. FLOOR FINISHES SHALL BE CLASS 1 FINISH WITH A FLAME PROPAGATION INDEX (FPI) OF 0.10 OR LESS.
3. ALL FINISHES SHALL BE AS SHOWN ON DRAWINGS.
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NO.	DATE	DESCRIPTION
1	2/28/24	ISSUED FOR PERMIT
2	3/15/24	ISSUED FOR PERMIT
3	3/22/24	ISSUED FOR PERMIT
4	3/29/24	ISSUED FOR PERMIT
5	4/5/24	ISSUED FOR PERMIT
6	4/12/24	ISSUED FOR PERMIT
7	4/19/24	ISSUED FOR PERMIT
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**1608 WEST BALMORAL AVE
5404 NORTH ASHLAND AVE
CHICAGO, IL**

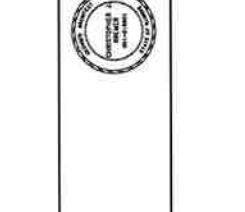


COMPASS ARCHITECTURAL LLC
1608 WEST BALMORAL AVE
CHICAGO, IL 60642
TEL: 773.334.1111
WWW.COMPASSARCHITECTURAL.COM

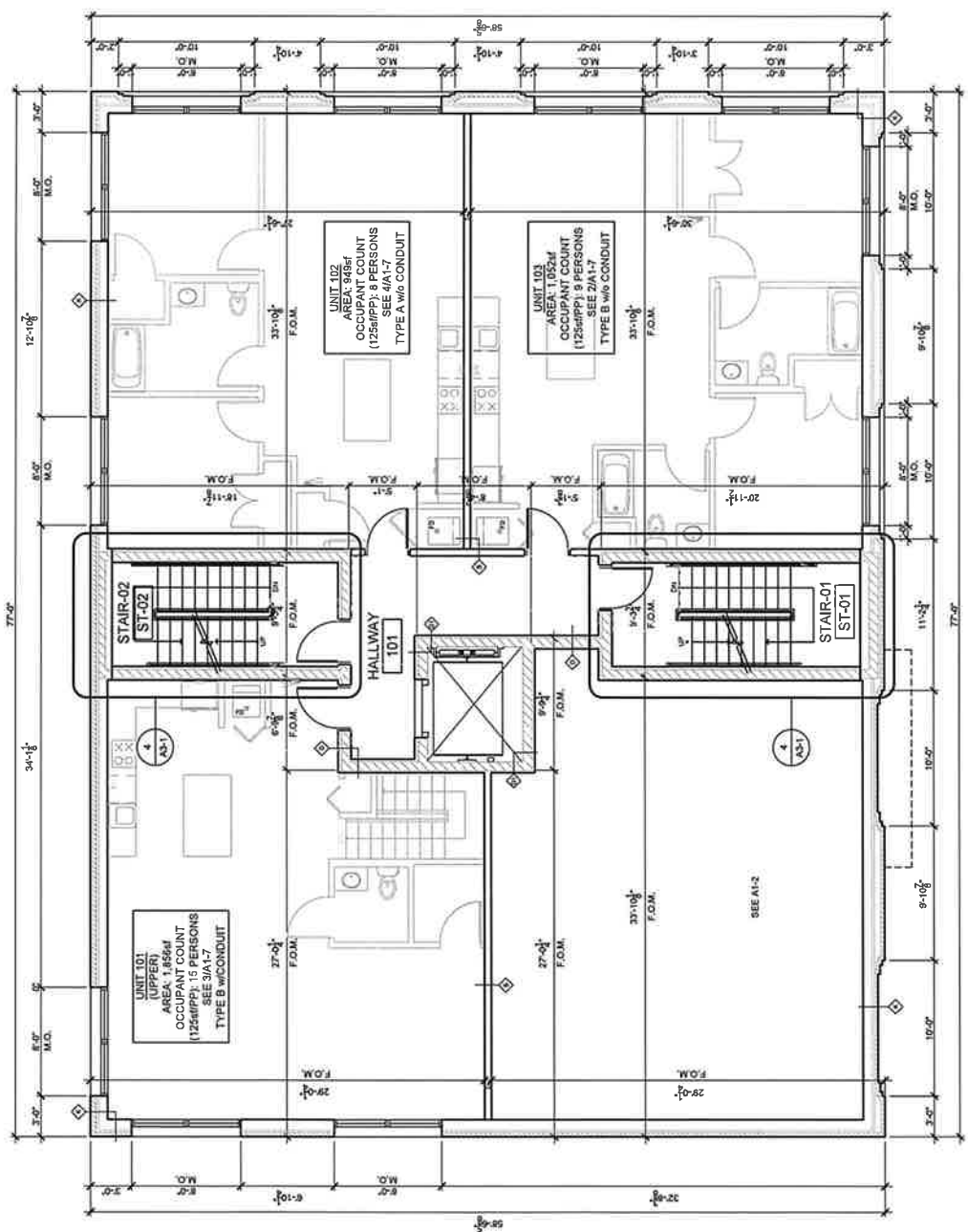
PROJECT INFORMATION
PROJECT NAME: 1608 WEST BALMORAL AVE
PROJECT ADDRESS: 1608 WEST BALMORAL AVE, CHICAGO, IL 60642
PROJECT TYPE: RESIDENTIAL REPAIRS
OWNER: [REDACTED]
ARCHITECT: COMPASS ARCHITECTURAL LLC
DATE: 2/28/24

PERMIT INFORMATION
PERMIT NO.: [REDACTED]
ISSUED BY: CHICAGO DEPARTMENT OF PERMITS
ISSUE DATE: [REDACTED]

SCALE: 1/8" = 1'-0"



1 GROUND FLOOR REPAIRS PLAN



- FLOOR FINISHES:**
- 1. ALL INTERIOR WALLS ARE DESIGNATED TO HAVE FINISHES AND SHALL BE FINISHED WITH FINISHES AS SHOWN ON THE DRAWINGS. FINISHES SHALL BE APPLICABLE TO THE SHEET.
 - 2. FINISHES SHALL BE APPLICABLE TO THE SHEET.
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 - 100. FINISHES SHALL BE APPLICABLE TO THE SHEET.

1.1 FLOOR DIMENSION PLAN
SCALE: 3/8" = 1'-0"

GENERAL NOTES:

1. ALL INTERIOR WALL AND CEILING FINISHES SHALL BE APPLICABLE TO THE SHEET.
2. ALL FLOOR COVERINGS SHALL HAVE A FLAME SPREAD RATING OF 75 OR BETTER.

NO.	DATE	DESCRIPTION
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1606 WEST BALMORAL AVE
5404 NORTH ASHLAND AVE
CHICAGO, IL



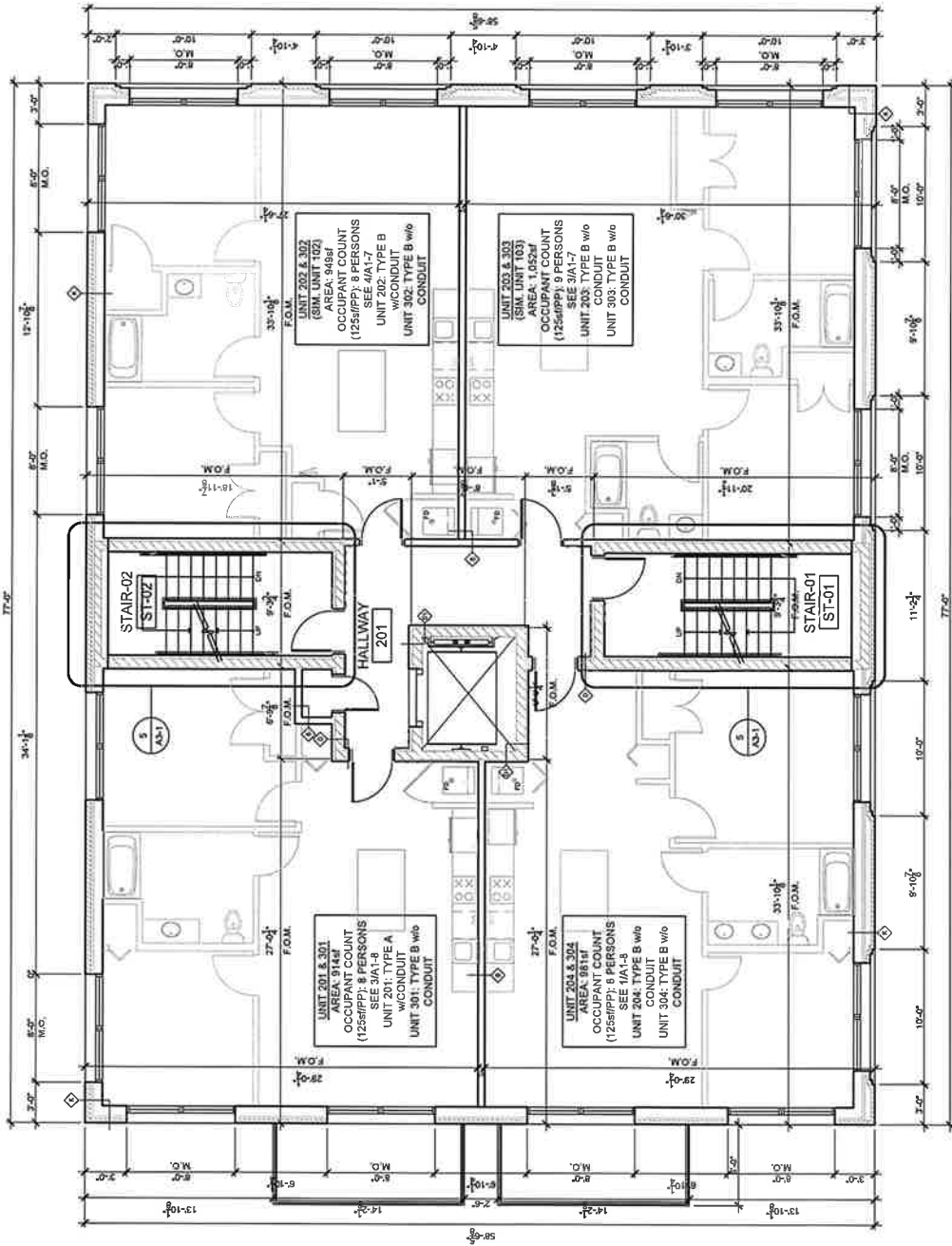
COMPASS ARCHITECTURE, LLC
1111 WEST WASHINGTON AVE, SUITE 200
CHICAGO, IL 60606
TEL: 312.467.1111
WWW.COMPASSARCHITECTURE.COM

1.1 FLOOR DIMENSION PLAN
SCALE: 3/8" = 1'-0"



1606 WEST BALMORAL AVE
5404 NORTH ASHLAND AVE
CHICAGO, IL

1.1 FLOOR DIMENSION PLAN
SCALE: 3/8" = 1'-0"



FLOOR FINISHES:

1. COLUNNS AND WALLS ARE DESIGNATED BY MULTIPLE LETTERS AND MAY NOT BE APPLICABLE TO THIS SHEET
2. ALL WALLS ARE CONSTRUCTION TYPE "X"
3. FINISHES ARE TO MATCH BASES
4. VERIFY ALL WINDOW AND DOOR ROUGH OPENINGS AND CONTOUR BEFORE MANUFACTURING AND ADJUST ACCORDINGLY
5. ALL DOOR LEADING SHALL BE TYPED AND PROVIDE BLOCKING AT ALL DOOR AND OPERATIVE TRIM LOCATION, VERIFY WITH OWNER
6. VERIFY ALL PLUMBING ROUGH FINISHING DIMENSIONS WITH THE OWNER SELECTED FINISHES
7. COORDINATE TO COR AND ROOF FINISHING LAYOUT WITH PLUMBING AND HVAC WORK TO AVOID POTENTIAL CONFLICTS
8. COORDINATE TO COR AND ROOF FINISHING LAYOUT WITH PLUMBING AND HVAC WORK TO AVOID POTENTIAL CONFLICTS
9. PROVIDE FINISHED END PANELS ON SIDS ALL LINING CASSETS AND PARTITIONS. MAX INCLUDING ALL DIMENSIONS
10. PROVIDE ROOF SHEET AT ALL CASSETS, PARTITIONS, AND PARTITIONS TO BE FINISHED WITH ALL LINING CASSETS AND PARTITIONS. MAX INCLUDING ALL DIMENSIONS
11. ALL INTERIOR STAIR HANDRAILS TO BE LOCATED 3" ABOVE THE OTHER NOSE, HANDRAIL SHALL BE DESIGNED TO RESIST A MINIMUM OF 200 LB OF UPWARD FORCE IN ANY DIRECTION
12. FOLLOW MANUFACTURERS REQUIREMENTS FOR PROPER ROOF FINISHING AND PROVIDE FINISHING TO A MINIMUM OF 1" ABOVE FINISH FLOOR FINISHING
13. ALL INTERIOR STAIR HANDRAILS TO BE LOCATED 3" ABOVE THE OTHER NOSE, HANDRAIL SHALL BE DESIGNED TO RESIST A MINIMUM OF 200 LB OF UPWARD FORCE IN ANY DIRECTION
14. ALL INTERIOR STAIR HANDRAILS TO BE LOCATED 3" ABOVE THE OTHER NOSE, HANDRAIL SHALL BE DESIGNED TO RESIST A MINIMUM OF 200 LB OF UPWARD FORCE IN ANY DIRECTION
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16. ALL INTERIOR STAIR HANDRAILS TO BE LOCATED 3" ABOVE THE OTHER NOSE, HANDRAIL SHALL BE DESIGNED TO RESIST A MINIMUM OF 200 LB OF UPWARD FORCE IN ANY DIRECTION
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19. ALL INTERIOR STAIR HANDRAILS TO BE LOCATED 3" ABOVE THE OTHER NOSE, HANDRAIL SHALL BE DESIGNED TO RESIST A MINIMUM OF 200 LB OF UPWARD FORCE IN ANY DIRECTION
20. ALL INTERIOR STAIR HANDRAILS TO BE LOCATED 3" ABOVE THE OTHER NOSE, HANDRAIL SHALL BE DESIGNED TO RESIST A MINIMUM OF 200 LB OF UPWARD FORCE IN ANY DIRECTION

GENERAL FINISHES:

1. ALL INTERIOR WALL AND CEILING FINISHES SHALL BE CLASS "F" FINISH WITH A FLAME SPREAD RATING OF 75 OR BETTER
2. ALL FLOOR FINISHES SHALL HAVE A FLAME SPREAD RATING OF 75 OR BETTER

GENERAL FINISHES:

1. ALL INTERIOR WALL AND CEILING FINISHES SHALL BE CLASS "F" FINISH WITH A FLAME SPREAD RATING OF 75 OR BETTER
2. ALL FLOOR FINISHES SHALL HAVE A FLAME SPREAD RATING OF 75 OR BETTER

GENERAL FINISHES:

1. ALL INTERIOR WALL AND CEILING FINISHES SHALL BE CLASS "F" FINISH WITH A FLAME SPREAD RATING OF 75 OR BETTER
2. ALL FLOOR FINISHES SHALL HAVE A FLAME SPREAD RATING OF 75 OR BETTER

GENERAL FINISHES:

1. ALL INTERIOR WALL AND CEILING FINISHES SHALL BE CLASS "F" FINISH WITH A FLAME SPREAD RATING OF 75 OR BETTER
2. ALL FLOOR FINISHES SHALL HAVE A FLAME SPREAD RATING OF 75 OR BETTER

GENERAL FINISHES:

1. ALL INTERIOR WALL AND CEILING FINISHES SHALL BE CLASS "F" FINISH WITH A FLAME SPREAD RATING OF 75 OR BETTER
2. ALL FLOOR FINISHES SHALL HAVE A FLAME SPREAD RATING OF 75 OR BETTER

GENERAL FINISHES:

1. ALL INTERIOR WALL AND CEILING FINISHES SHALL BE CLASS "F" FINISH WITH A FLAME SPREAD RATING OF 75 OR BETTER
2. ALL FLOOR FINISHES SHALL HAVE A FLAME SPREAD RATING OF 75 OR BETTER



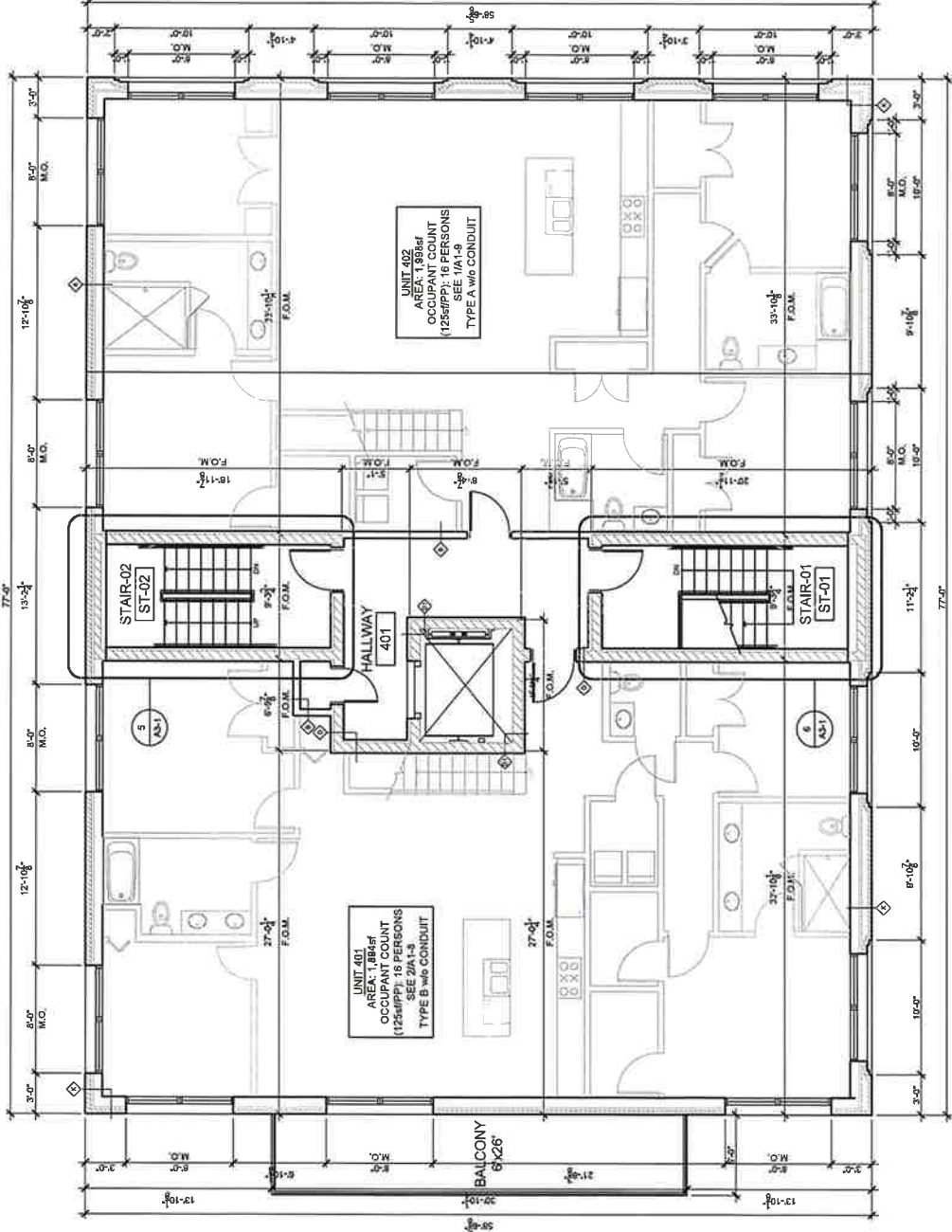
compass architectural llc
 1606 WEST BALKMOR AVE
 5404 NORTH ASHLAND AVE
 CHICAGO, IL 60641
 TEL: 773.334.1111
 WWW.COMPASSARCHITECTURE.COM

**1606 WEST BALKMOR AVE
 5404 NORTH ASHLAND AVE
 CHICAGO, IL 60641**



NO.	DATE	DESCRIPTION
1	2024.11	ISSUED FOR PERMIT

CHICAGO, IL
 A1-4



- FLOOR PLAN REMARKS:**
 1. NOTES SHOWN BELOW APPLY TO THIS SHEET UNLESS OTHERWISE NOTED. CHECK FOR CONFLICTS WITH OTHER SHEETS.
 2. ALL WALLS ARE CONSTRUCTION TYPE 'K'.
 3. 4" x 4" TRUSS, UNO.
 4. DIMENSIONS ARE TO MATERIAL.
 5. VERIFY ALL WINDOW AND DOOR ROUGH OPENINGS AND MASONRY OPENING MANUFACTURER AND ADJUST ACCORDINGLY.
 6. ALL DOOR SIZES SHALL BE TYPIFIED.
 7. PROVIDE BLOCKING AT ALL DOOR AND WINDOW THRESHOLDS. VERIFY WITH DESIGNER.
 8. VERIFY ALL FLUOROCARBON FRAMING DIMENSIONS WITH THE OWNER/SELECTED MANUFACTURER AND ADJUST ACCORDINGLY.
 9. LAYOUT WITH TELLING AND HANGING WORK TO AVOID POTENTIAL CONFLICTS.
 10. MECHANICAL CONTRACTORS TO PROVIDE ALL EXHAUST SYSTEMS AND EXHAUSTS TO GENERAL CONTRACTOR AND APPROVAL TO GENERAL CONTRACTOR.
 11. PROVIDE RIGID SHEET AT ALL CLOSETS.
 12. PROVIDE RIGID SHEET AT ALL DOORS.
 13. PROVIDE FINISHED FLOOR PANELS ON ROSS USE CEMENT AT ALL EXPOSED ROSS.
 14. PROVIDE FINISHED FLOOR PANELS ON ROSS.
 15. ALL INTERIOR STAIR HANDRAILS TO BE LOCATED 3" ABOVE THE STAIR nosing. BALUNING SHALL BE DESIGNED TO RESIST A THRUST OF 200 LB IN ANY DIRECTION.
 16. PROVIDE PROTECTIVE BRACKETS AT ALL CORNERS.
 17. PROVIDE PROTECTIVE BRACKETS AT ALL CORNERS.
 18. PROVIDE PROTECTIVE BRACKETS AT ALL CORNERS.
 19. PROVIDE PROTECTIVE BRACKETS AT ALL CORNERS.
 20. PROVIDE PROTECTIVE BRACKETS AT ALL CORNERS.

- GENERAL FINISHES:**
 1. ALL EXTERIOR WALL AND CORNER FINISHES SHALL BE CLASS 1 FINISH WITH A FLAKE PRODUCTION OF 25.
 2. ALL INTERIOR WALLS SHALL HAVE A FLAKE PRODUCTION OF 75 ON LETTERS.
 3. ALL EXTERIOR WALL AND CORNER FINISHES SHALL BE CLASS 1 FINISH WITH A FLAKE PRODUCTION OF 25.
 4. ALL INTERIOR WALLS SHALL HAVE A FLAKE PRODUCTION OF 75 ON LETTERS.

PROJECT INFORMATION	
PROJECT NAME	1606 WEST BAL MORAL AVE 5404 NORTH ASHLAND AVE. CHICAGO, IL
CLIENT	COMPASS ARCHITECTURE, LLC
DATE	11/18/2024
SCALE	AS SHOWN
DRAWN BY: [NAME]	
CHECKED BY: [NAME]	
DATE: [DATE]	
SCALE: [SCALE]	

COMPASS ARCHITECTURE, LLC
 1118 W. MONROE ST. SUITE 100
 CHICAGO, IL 60606
 TEL: (312) 555-1234
 FAX: (312) 555-5678
 WWW.COMPASSARCHITECTURE.COM

1 | 4TH FLOOR DEMISING PLAN

SCALE: 3/4" = 1'-0"

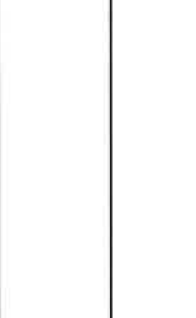
COMMON AREA DETAILS:
 1. ALL WALLS SHALL BE CONSTRUCTION TYPE 'K'.
 2. ALL DOORS SHALL BE 48" HIGH AND 36" WIDE.
 3. ALL WINDOWS SHALL BE 48" HIGH AND 36" WIDE.
 4. ALL HANDRAILS SHALL BE 36" HIGH AND 2" DIA.
 5. ALL STAIRS SHALL BE 8" WIDE.
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1. ALL EXTERIOR WALL AND CORNER FINISHES SHALL BE CLASS 1 FINISH WITH A FLAKE PRODUCTION OF 25.
 2. ALL INTERIOR WALLS SHALL HAVE A FLAKE PRODUCTION OF 75 ON LETTERS.



COMPASS ARCHITECTURE, LLC
 ARCHITECT
 1118 W. MONROE ST. SUITE 100
 CHICAGO, IL 60606
 TEL: (312) 555-1234
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 WWW.COMPASSARCHITECTURE.COM

NO.	DATE	DESCRIPTION
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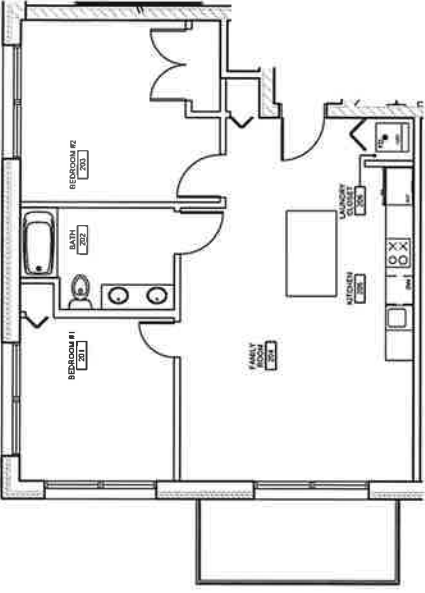


COMPASS ARCHITECTURE, LLC
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 CHICAGO, IL 60606
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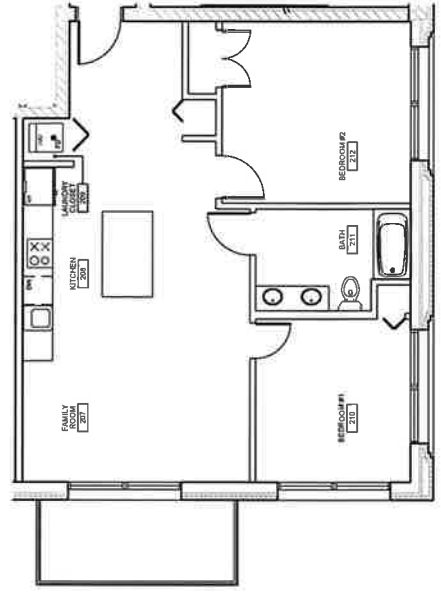
COMPASS ARCHITECTURE, LLC
 1118 W. MONROE ST. SUITE 100
 CHICAGO, IL 60606
 TEL: (312) 555-1234
 FAX: (312) 555-5678
 WWW.COMPASSARCHITECTURE.COM

FLOOR PLAN NOTES:
 1. COLUMNS AND WALLS ARE DESIGNATED WITH TAG WHICH CORRESPONDS TO SHEET FOR EACH CONSTRUCTION ASSEMBLY.
 2. ALL WALLS ARE CONSTRUCTION TYPE 'X' 4" THICK, UNO.
 3. DIMENSIONS ARE TO MATERIAL, DIMENSIONS ARE TO WINDOW AND DOOR ROUGH OPENING AND MANUFACTURER AND ASSET ACCORDINGLY.
 4. ALL DOOR LEADING SHALL BE THRESHLED.
 5. PROVIDE BLOCKING AT ALL DOOR AND WINDOW THRESHLS.
 6. VERIFY ALL PLUMBING ROOM FRAMING DIMENSIONS WITH THE OWNER, SELECTED MANUFACTURER AND INSURE ACCORDINGLY.
 7. VERIFY ALL PLUMBING AND HVAC WORK IS LAID OUT WITH PLUMBING AND HVAC WORK TO AVOID POTENTIAL CONFLICTS.
 8. MECHANICAL CONTRACTORS TO PROVIDE ALL MECHANICAL WORK TO BE INSTALLED AND APPROVAL TO GENERAL CONTRACTOR AND APPROVAL TO GENERAL CONTRACTOR.
 9. PROVIDE ROOF & SHELF AT ALL CLOSETS, LINEN CLOSET, AND PANTRY(S) AND ALL LINEN CLOSET(S) AND PANTRY(S) AND ALL CLOSET(S) WITH PLUMBING AND HVAC WORK TO AVOID POTENTIAL CONFLICTS.
 10. PROVIDE FINISHED END PANELS ON SIDES OF BASE CABINETS AT ALL EXPOSED EDGES.
 11. ALL UTILITY STAIR WINDERS SHALL BE LOCATED 3" ABOVE THE STAIR nosing.
 12. RAILING SHALL BE DESIGNED TO RESIST A THRU FORCE OF 200 LB/FT IN ANY DIRECTION.
 13. STAIRS SHALL BE FINISHED WITH AN ANTI-SLIP SURFACE.
 14. FOLLOW MANUFACTURER'S REQUIREMENTS FOR PROPER ROOF FLASHING.
 15. ALL ROOF VENTS PER AREA TYP.
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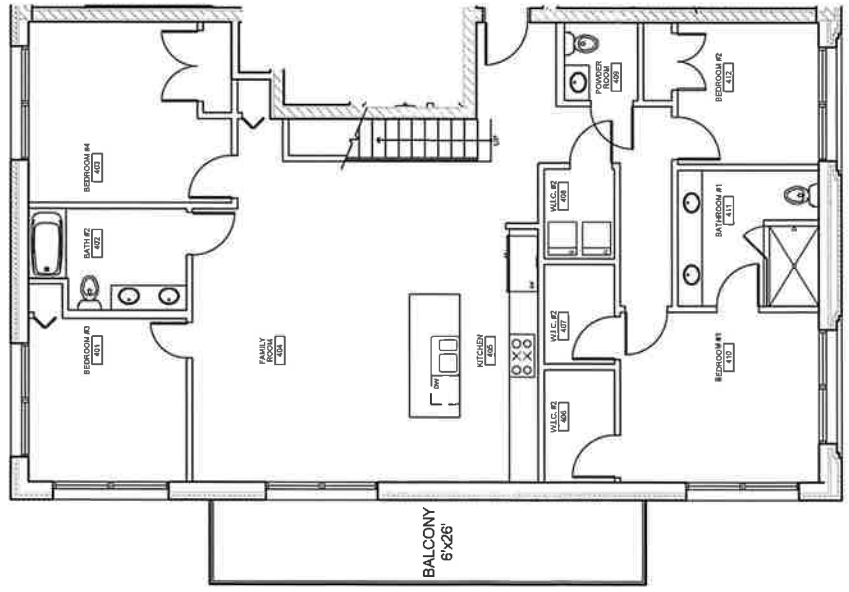
- 1. FLOOR PLAN NOTES:
- 2. VERIFY ALL PLUMBING ROOM FRAMING DIMENSIONS WITH THE OWNER, SELECTED MANUFACTURER AND INSURE ACCORDINGLY.
- 3. VERIFY ALL PLUMBING AND HVAC WORK IS LAID OUT WITH PLUMBING AND HVAC WORK TO AVOID POTENTIAL CONFLICTS.
- 4. MECHANICAL CONTRACTORS TO PROVIDE ALL MECHANICAL WORK TO BE INSTALLED AND APPROVAL TO GENERAL CONTRACTOR AND APPROVAL TO GENERAL CONTRACTOR.
- 5. PROVIDE ROOF & SHELF AT ALL CLOSETS, LINEN CLOSET, AND PANTRY(S) AND ALL LINEN CLOSET(S) AND PANTRY(S) AND ALL CLOSET(S) WITH PLUMBING AND HVAC WORK TO AVOID POTENTIAL CONFLICTS.
- 6. PROVIDE FINISHED END PANELS ON SIDES OF BASE CABINETS AT ALL EXPOSED EDGES.
- 7. ALL UTILITY STAIR WINDERS SHALL BE LOCATED 3" ABOVE THE STAIR nosing.
- 8. RAILING SHALL BE DESIGNED TO RESIST A THRU FORCE OF 200 LB/FT IN ANY DIRECTION.
- 9. STAIRS SHALL BE FINISHED WITH AN ANTI-SLIP SURFACE.
- 10. FOLLOW MANUFACTURER'S REQUIREMENTS FOR PROPER ROOF FLASHING.
- 11. ALL ROOF VENTS PER AREA TYP.
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3 UNIT 301 & 301 PLAN
 SCALE 1/8" = 1'-0"



1 UNIT 304 & 304 PLAN
 SCALE 1/8" = 1'-0"



2 UNIT 401 PLAN
 SCALE 1/8" = 1'-0"



COMPASS ARCHITECTURE, LLC
 1608 WEST BALMORAL AVE
 5404 NORTH ASHLAND AVE
 CHICAGO, IL 60656
 TEL: 773.334.1111
 FAX: 773.334.1112
 WWW.COMPASSARCHITECTURE.COM

1608 WEST BALMORAL AVE
 5404 NORTH ASHLAND AVE
 CHICAGO, IL 60656
 TEL: 773.334.1111
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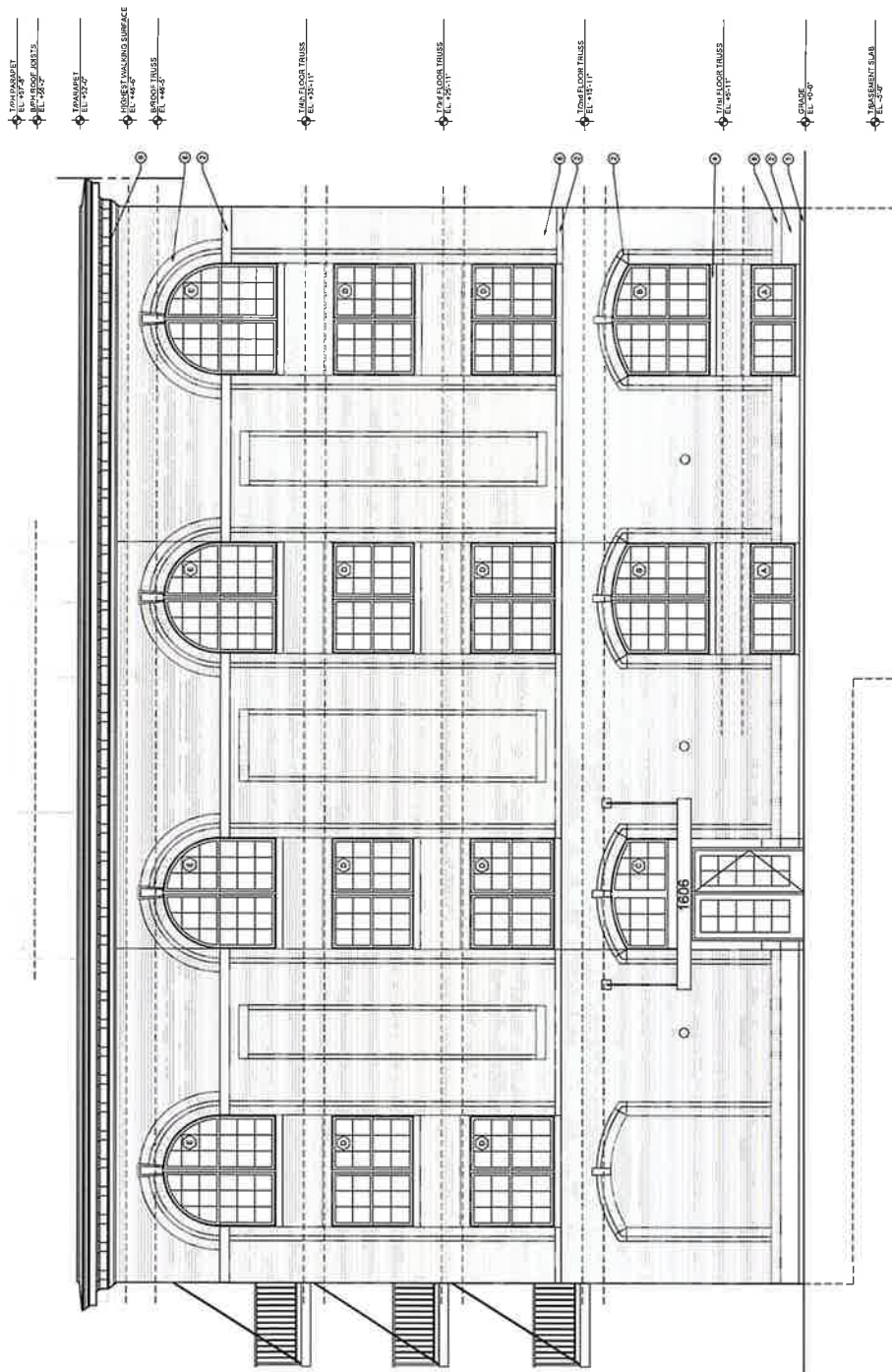
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1608 WEST BALMORAL AVE
 5404 NORTH ASHLAND AVE
 CHICAGO, IL

NO.	DATE	DESCRIPTION
1		ISSUE FOR PERMIT

A1-8

1. GENERAL NOTES: SEE ALL OTHER SHEETS FOR GENERAL NOTES AND SPECIFICATIONS.
2. MATERIALS: ALL MATERIALS TO BE APPROVED BY THE ARCHITECT AND THE CITY OF CHICAGO.
3. FINISHES: ALL FINISHES TO BE APPROVED BY THE ARCHITECT AND THE CITY OF CHICAGO.
4. WORKMANSHIP: ALL WORKMANSHIP TO BE APPROVED BY THE ARCHITECT AND THE CITY OF CHICAGO.
5. PROTECTION: ALL EXISTING WORK TO BE PROTECTED AND REPAIRED OR REPLACED AS NECESSARY.
6. CLEANUP: ALL DEBRIS TO BE REMOVED AND SITE TO BE LEFT CLEAN.
7. SCHEDULE: ALL MATERIALS AND FINISHES TO BE SCHEDULED BY THE ARCHITECT.
8. CONTRACTOR TO VERIFY ALL DIMENSIONS AND CONDITIONS OF EXISTING WORK BEFORE BEGINNING WORK.
9. ALL WORK TO BE DONE IN ACCORDANCE WITH THE CITY OF CHICAGO CODES AND ORDINANCES.
10. ALL WORK TO BE DONE IN ACCORDANCE WITH THE ARCHITECT'S INTENT AND THE CITY OF CHICAGO CODES AND ORDINANCES.
11. ALL WORK TO BE DONE IN ACCORDANCE WITH THE ARCHITECT'S INTENT AND THE CITY OF CHICAGO CODES AND ORDINANCES.
12. ALL WORK TO BE DONE IN ACCORDANCE WITH THE ARCHITECT'S INTENT AND THE CITY OF CHICAGO CODES AND ORDINANCES.
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20. ALL WORK TO BE DONE IN ACCORDANCE WITH THE ARCHITECT'S INTENT AND THE CITY OF CHICAGO CODES AND ORDINANCES.



SOUTH ELEVATION
1806



COMPASS ARCHITECTURE, LLC
1806 WEST BALMORAL AVE.
CHICAGO, IL 60612
TEL: 312.467.1806
WWW.COMPASSARCHITECTURE.COM



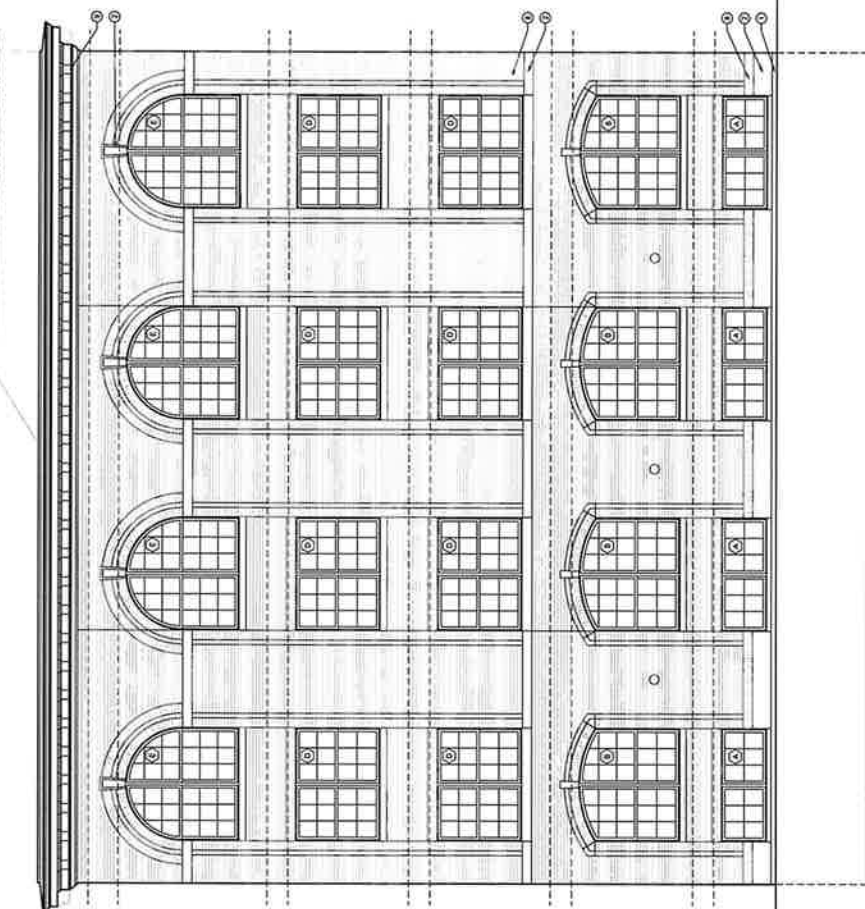
1806 WEST BALMORAL AVE.
5404 NORTH ASHLAND AVE.
CHICAGO, IL

NO.	DATE	DESCRIPTION
1	7-20-13	ISSUED FOR PERMITS

LEGEND

1. FINISH MATERIALS
2. WINDOW SCHEDULE
3. DOOR SCHEDULE
4. ROOF SCHEDULE
5. FLOOR FINISH SCHEDULE
6. WALL FINISH SCHEDULE
7. CEILING FINISH SCHEDULE
8. MECHANICAL SCHEDULE
9. ELECTRICAL SCHEDULE
10. PLUMBING SCHEDULE
11. HVAC SCHEDULE
12. PAINT SCHEDULE
13. GLASS SCHEDULE
14. METAL SCHEDULE
15. WOOD SCHEDULE
16. STONE SCHEDULE
17. TERRAZZO SCHEDULE
18. TILE SCHEDULE
19. CONCRETE SCHEDULE
20. GROUNDWORK SCHEDULE
21. LANDSCAPE SCHEDULE
22. SIGNAGE SCHEDULE
23. FURNITURE SCHEDULE
24. EQUIPMENT SCHEDULE
25. SPECIALTIES SCHEDULE
26. OTHER SCHEDULE

- 1. TOP PARAPET
EL: +12'-0"
- 2. FINISH FLOOR
EL: +11'-0"
- 3. FINISH FLOOR
EL: +10'-0"
- 4. FINISH FLOOR
EL: +9'-0"
- 5. FINISH FLOOR
EL: +8'-0"
- 6. FINISH FLOOR
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- 7. FINISH FLOOR
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- 8. FINISH FLOOR
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- 9. FINISH FLOOR
EL: +4'-0"
- 10. FINISH FLOOR
EL: +3'-0"
- 11. FINISH FLOOR
EL: +2'-0"
- 12. FINISH FLOOR
EL: +1'-0"
- 13. FINISH FLOOR
EL: 0'-0"
- 14. FINISH FLOOR
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- 15. FINISH FLOOR
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- 16. FINISH FLOOR
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- 17. FINISH FLOOR
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- 31. FINISH FLOOR
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- 105. FINISH FLOOR
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- 106. FINISH FLOOR
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- 107. FINISH FLOOR
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- 108. FINISH FLOOR
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- 109. FINISH FLOOR
EL: -96'-0"
- 110. FINISH FLOOR
EL: -97'-0"
- 111. FINISH FLOOR
EL: -98'-0"
- 112. FINISH FLOOR
EL: -99'-0"
- 113. FINISH FLOOR
EL: -100'-0"



EAST ELEVATION
1/10/2024



COMPASS ARCHITECTURE, LLC
1111 N. LAKE STREET, SUITE 1000
CHICAGO, IL 60610
TEL: 312.555.1234
WWW.COMPASSARCHITECTURE.COM



1606 WEST BALMORAL AVE.
5404 NORTH ASHLAND AVE.
CHICAGO, IL

NO.	DATE	DESCRIPTION
1	2024.01.10	ISSUED FOR PERMIT

②. ARCHITECTURAL MATERIALS

1. EXTERIOR WALLS: BRICK
2. EXTERIOR WALLS: BRICK
3. EXTERIOR WALLS: BRICK
4. EXTERIOR WALLS: BRICK
5. EXTERIOR WALLS: BRICK
6. EXTERIOR WALLS: BRICK
7. EXTERIOR WALLS: BRICK
8. EXTERIOR WALLS: BRICK
9. EXTERIOR WALLS: BRICK
10. EXTERIOR WALLS: BRICK
11. EXTERIOR WALLS: BRICK
12. EXTERIOR WALLS: BRICK
13. EXTERIOR WALLS: BRICK
14. EXTERIOR WALLS: BRICK
15. EXTERIOR WALLS: BRICK
16. EXTERIOR WALLS: BRICK
17. EXTERIOR WALLS: BRICK
18. EXTERIOR WALLS: BRICK
19. EXTERIOR WALLS: BRICK
20. EXTERIOR WALLS: BRICK

TRIPARTITE
EL. 10'-0"

TRIPARTITE
EL. 10'-0"

TRIPARTITE
EL. 10'-0"

TRIPARTITE
EL. 10'-0"

TRIPARTITE
EL. 10'-0"

TRIPARTITE
EL. 10'-0"

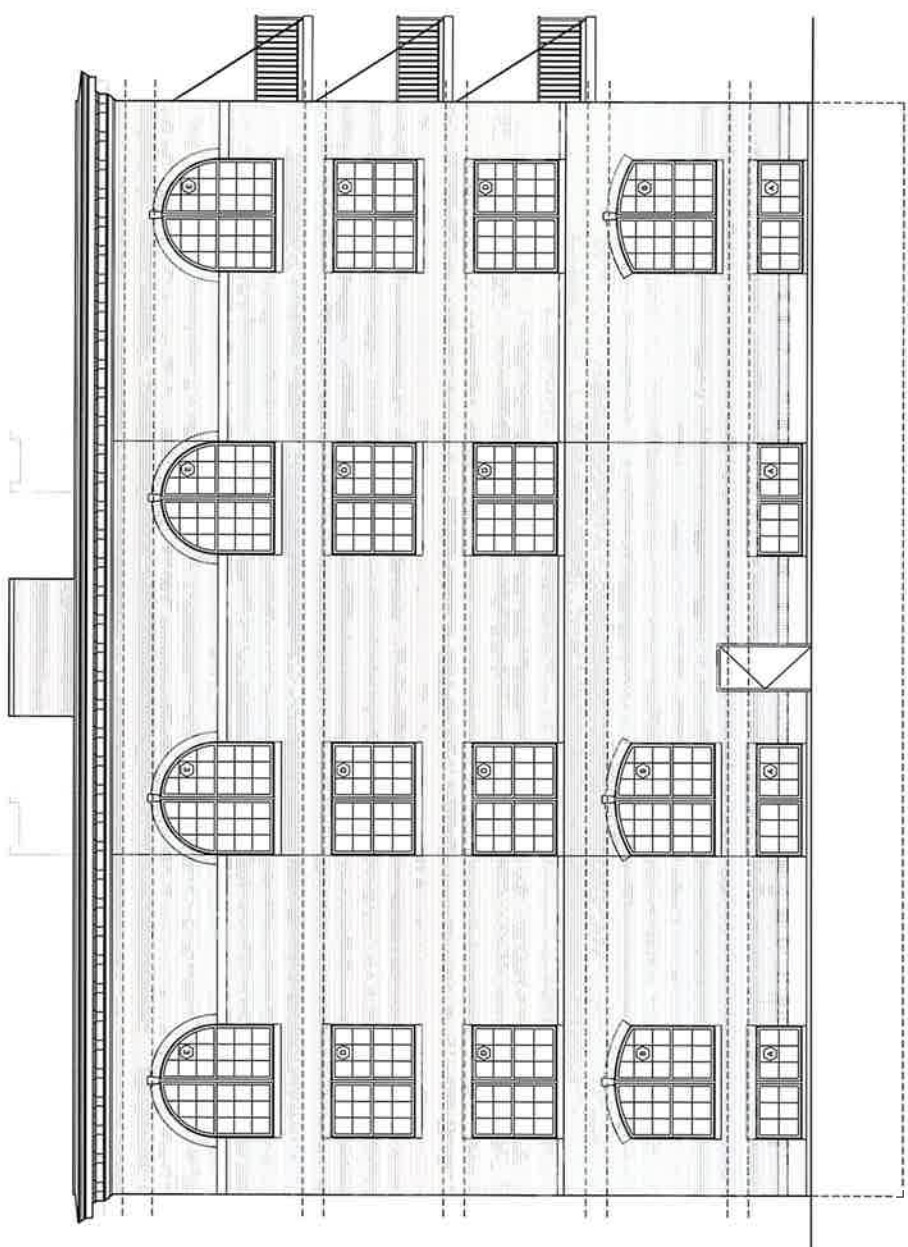
TRIPARTITE
EL. 10'-0"

TRIPARTITE
EL. 10'-0"

TRIPARTITE
EL. 10'-0"

TRIPARTITE
EL. 10'-0"

TRIPARTITE
EL. 10'-0"



1 NORTH ELEVATION
SCALE: 1/8" = 1'-0"

NO.	DATE	DESCRIPTION
1		ISSUED

1606 WEST BALMORAL AVE
5404 NORTH ASHLAND AVE
CHICAGO, IL



COMPASS ARCHITECTURE, LLC
1606 WEST BALMORAL AVE
CHICAGO, IL 60641
TEL: 773.334.1111
WWW.COMPASSARCHITECTURE.COM

ARCHITECTURAL MATERIALS
1. EXTERIOR WALLS: BRICK
2. EXTERIOR WALLS: BRICK
3. EXTERIOR WALLS: BRICK
4. EXTERIOR WALLS: BRICK
5. EXTERIOR WALLS: BRICK
6. EXTERIOR WALLS: BRICK
7. EXTERIOR WALLS: BRICK
8. EXTERIOR WALLS: BRICK
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16. EXTERIOR WALLS: BRICK
17. EXTERIOR WALLS: BRICK
18. EXTERIOR WALLS: BRICK
19. EXTERIOR WALLS: BRICK
20. EXTERIOR WALLS: BRICK



- ② LEGEND/NOTES:
1. CONSULT THE GENERAL CONTRACTOR'S SPECIFICATIONS FOR ALL MATERIALS, FINISHES, AND METHODS OF CONSTRUCTION.
 2. VERIFY ALL DIMENSIONS AND LOCATIONS WITH THE ARCHITECT AND GENERAL CONTRACTOR BEFORE PROCEEDING.
 3. VERIFY THE EXISTING CONDITIONS AND MATERIALS BEFORE CONSTRUCTION.
 4. VERIFY THE EXISTING FOUNDATION AND FOOTING BEFORE CONSTRUCTION.
 5. VERIFY THE EXISTING STRUCTURAL SYSTEM BEFORE CONSTRUCTION.
 6. VERIFY THE EXISTING UTILITIES BEFORE CONSTRUCTION.
 7. VERIFY THE EXISTING EGRESS ROUTES BEFORE CONSTRUCTION.
 8. VERIFY THE EXISTING VENTILATION SYSTEM BEFORE CONSTRUCTION.
 9. VERIFY THE EXISTING HEATING AND COOLING SYSTEM BEFORE CONSTRUCTION.
 10. VERIFY THE EXISTING ELECTRICAL SYSTEM BEFORE CONSTRUCTION.
 11. VERIFY THE EXISTING PLUMBING SYSTEM BEFORE CONSTRUCTION.
 12. VERIFY THE EXISTING MECHANICAL SYSTEM BEFORE CONSTRUCTION.
 13. VERIFY THE EXISTING FIRE PROTECTION SYSTEM BEFORE CONSTRUCTION.
 14. VERIFY THE EXISTING SOUND AND VIBRATION CONTROL SYSTEM BEFORE CONSTRUCTION.
 15. VERIFY THE EXISTING ENVIRONMENTAL QUALITY BEFORE CONSTRUCTION.
 16. VERIFY THE EXISTING ACCESSIBILITY BEFORE CONSTRUCTION.
 17. VERIFY THE EXISTING HISTORIC CHARACTER BEFORE CONSTRUCTION.
 18. VERIFY THE EXISTING LANDSCAPE BEFORE CONSTRUCTION.
 19. VERIFY THE EXISTING NEIGHBORHOOD BEFORE CONSTRUCTION.
 20. VERIFY THE EXISTING REGULATORY REQUIREMENTS BEFORE CONSTRUCTION.

1. TRIM PARAPET
EL: +10.2'
2. TRIM PARAPET
EL: +10.2'
3. TRIM PARAPET
EL: +10.2'
4. TRIM PARAPET
EL: +10.2'
5. TRIM PARAPET
EL: +10.2'

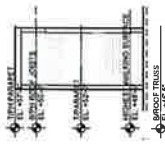
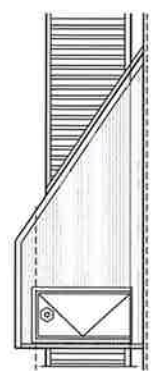
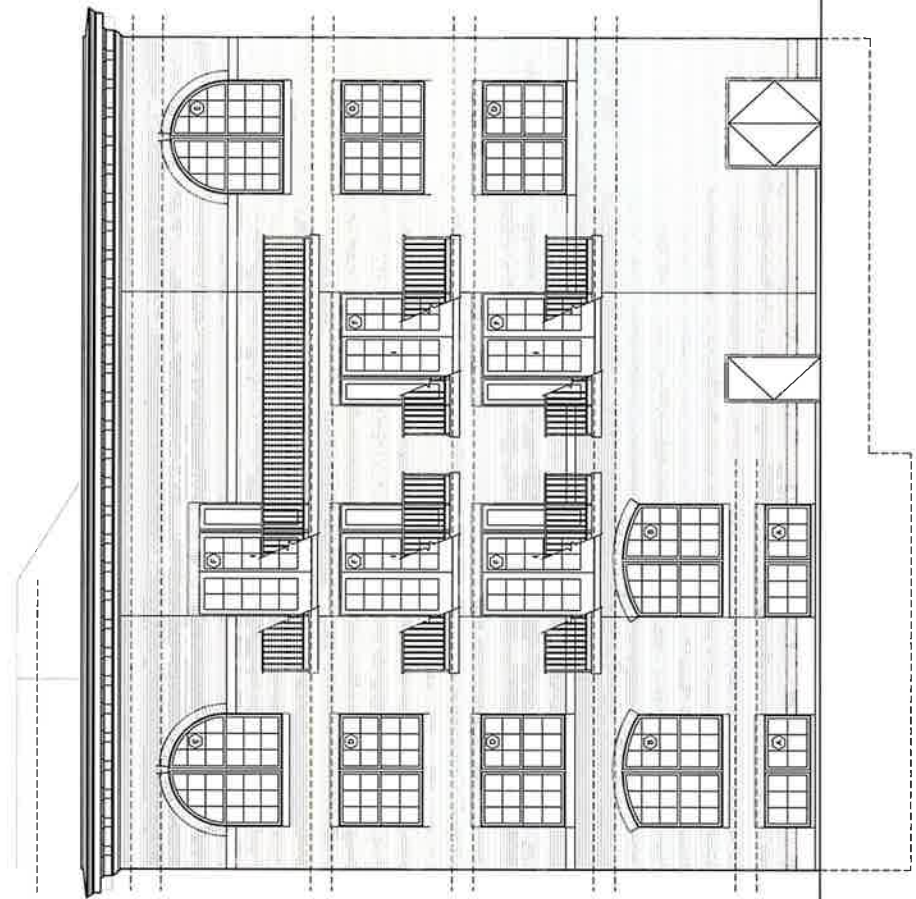
6. 1ST FLOOR TRUSS
EL: +10.1'

7. 2ND FLOOR TRUSS
EL: +11.1'

8. 3RD FLOOR TRUSS
EL: +12.1'

9. 4TH FLOOR TRUSS
EL: +13.1'

10. ROOF TRUSS
EL: +14.1'



3. NOT USED
SCALE 1/4" = 1'-0"

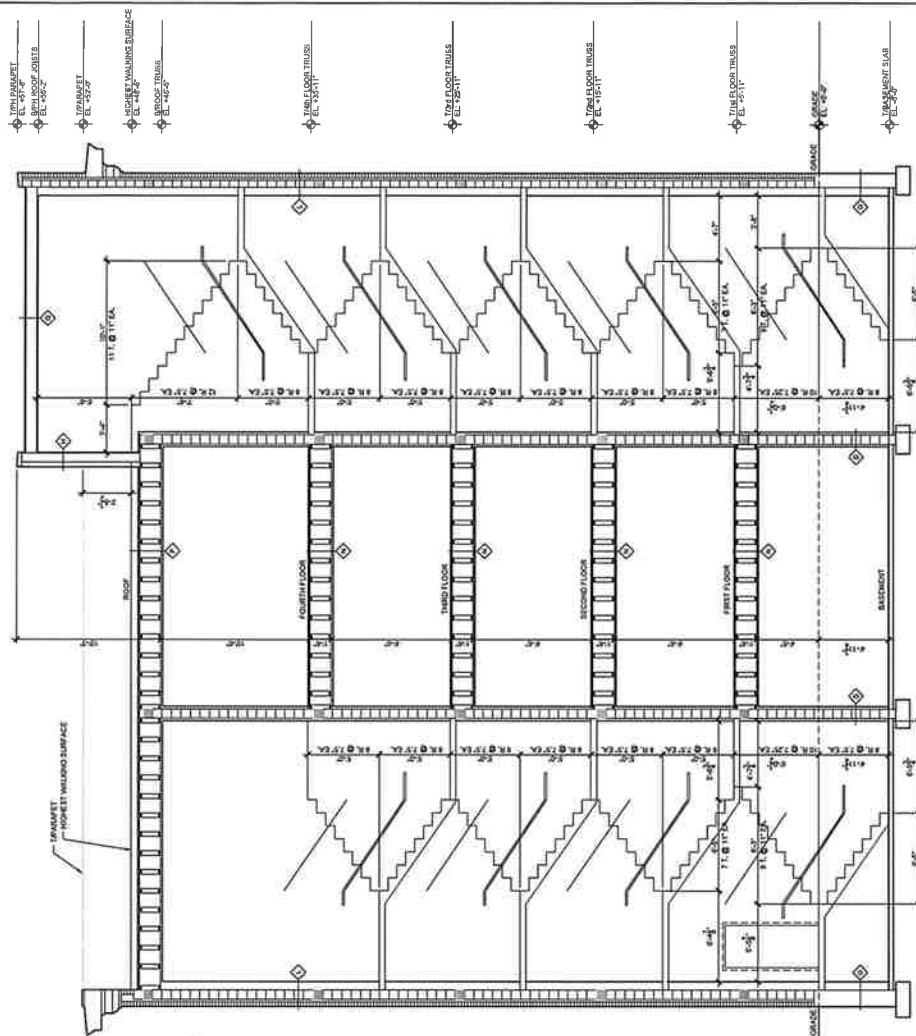
2. NOT USED
SCALE 1/4" = 1'-0"



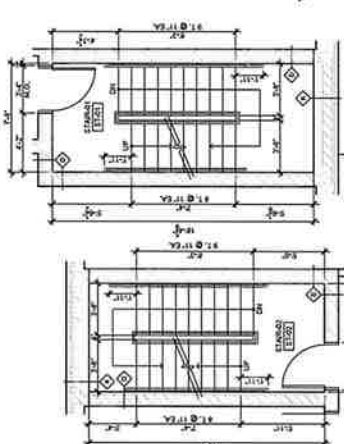
COMPASS ARCHITECTURE, LLC
1234 N. LAUREL ST., CHICAGO, IL 60642
TEL: (773) 555-1234
WWW.COMPASSARCHITECTURE.COM

1606 WEST BALMORAL AVE.
5404 NORTH ASHLAND AVE.
CHICAGO, IL

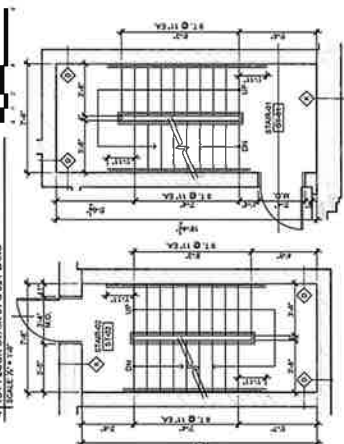
NO.	DATE	DESCRIPTION
1	2023.10.27	ISSUE FOR PERMIT



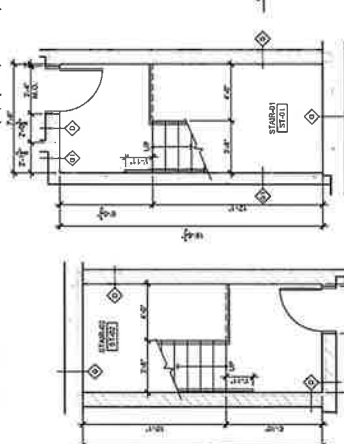
1 BUILDING SECTION
SCALE: 1/8" = 1'-0"



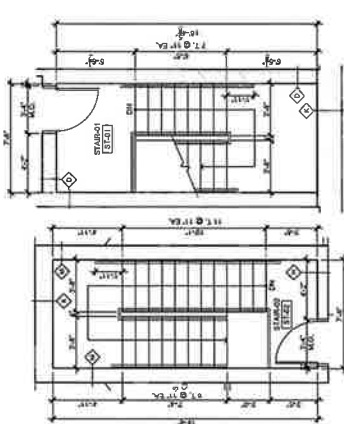
4 1ST FLOOR STAIR 01 & 02 PLANS
SCALE: 3/4" = 1'-0"



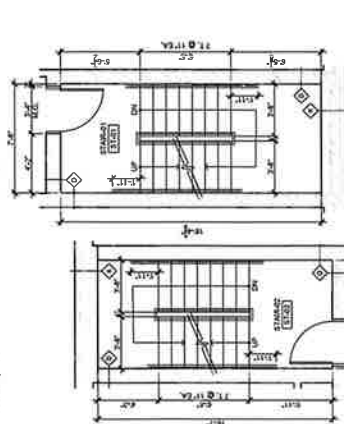
3 GROUND FLOOR STAIR 01 & 02 PLANS
SCALE: 3/4" = 1'-0"



2 BASEMENT STAIR 01 & 02 PLANS
SCALE: 3/4" = 1'-0"



7 1ST FLOOR STAIR 01 PLAN
SCALE: 3/4" = 1'-0"



5 2ND THRU 3RD FLOOR STAIR 01 PLAN
SCALE: 3/4" = 1'-0"



6 2ND THRU 4TH FLOOR STAIR 02 PLAN
SCALE: 3/4" = 1'-0"

1606 WEST BALKMORAL AVE.
5404 NORTH ASHLAND AVE.
CHICAGO, IL

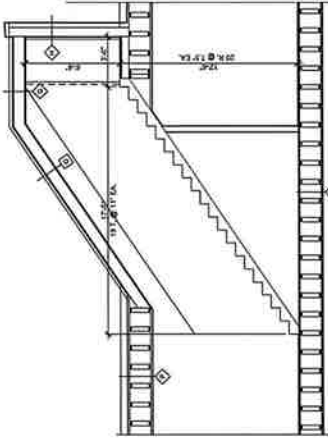
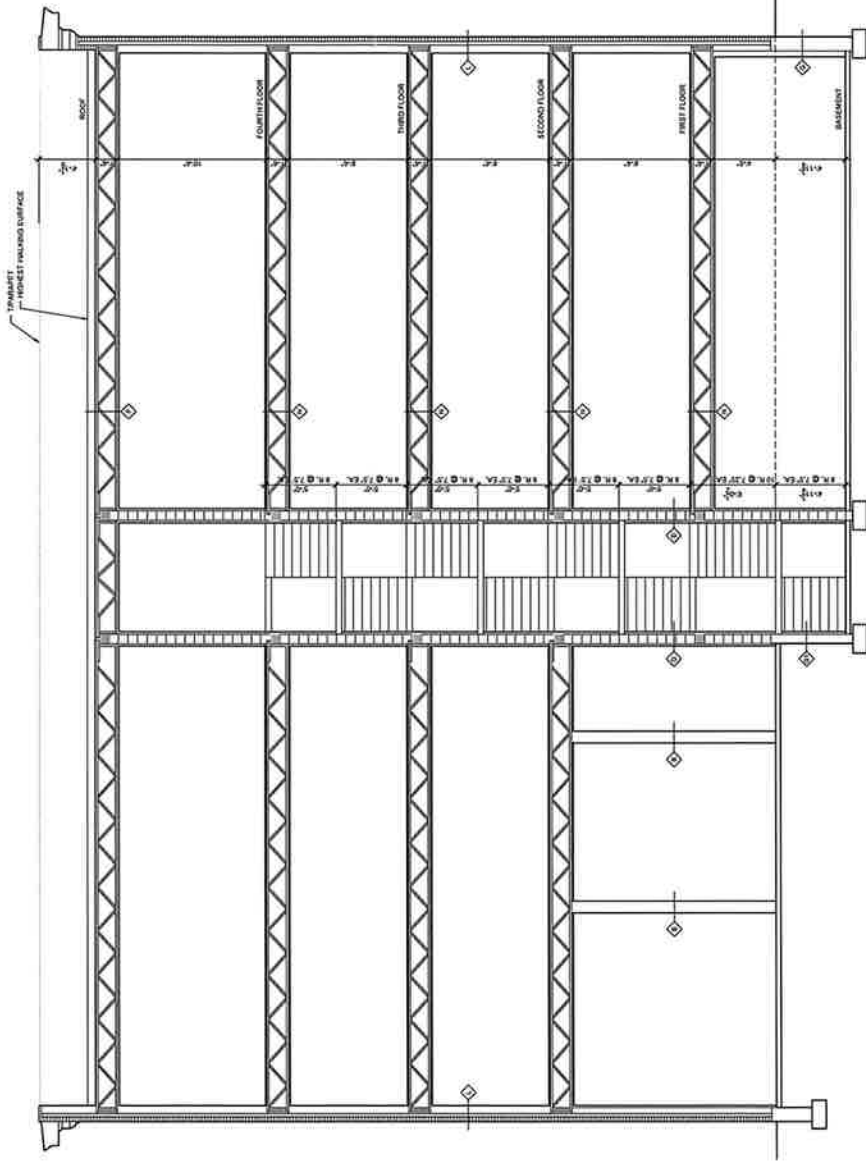
A3-1

NO.	DATE	DESCRIPTION
1	2024	ISSUED

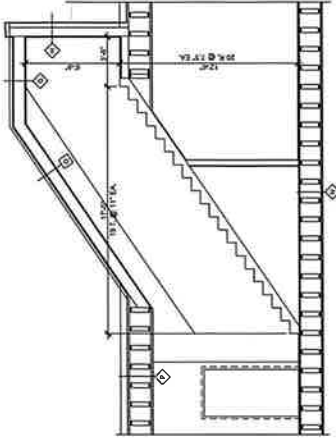
COMPASS ARCHITECTURE, LLC
123 N. LAUREL ST.
CHICAGO, IL 60602
TEL: (773) 555-1234
WWW.COMPASSARCHITECTURE.COM

REGISTERED ARCHITECT
NO. 123456789
STATE OF ILLINOIS
EXPIRES 12/31/2025

- ◆ TYP. PARAPET
EL. +34'-0"
- ◆ TYP. LOOF AXES
EL. +35'-0"
- ◆ TYP. PARAPET
EL. +36'-0"
- ◆ TYP. FINISH FLOOR SURFACE
EL. +37'-0"
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- ◆ TYP. FINISH FLOOR SURFACE
EL. +81'-0"
- ◆ TYP. FINISH FLOOR SURFACE
EL. +82'-0"
- ◆ TYP. FINISH FLOOR SURFACE
EL. +83'-0"
- ◆ TYP. FINISH FLOOR SURFACE
EL. +84'-0"
- ◆ TYP. FINISH FLOOR SURFACE
EL. +85'-0"
- ◆ TYP. FINISH FLOOR SURFACE
EL. +86'-0"
- ◆ TYP. FINISH FLOOR SURFACE
EL. +87'-0"
- ◆ TYP. FINISH FLOOR SURFACE
EL. +88'-0"
- ◆ TYP. FINISH FLOOR SURFACE
EL. +89'-0"
- ◆ TYP. FINISH FLOOR SURFACE
EL. +90'-0"
- ◆ TYP. FINISH FLOOR SURFACE
EL. +91'-0"
- ◆ TYP. FINISH FLOOR SURFACE
EL. +92'-0"
- ◆ TYP. FINISH FLOOR SURFACE
EL. +93'-0"
- ◆ TYP. FINISH FLOOR SURFACE
EL. +94'-0"
- ◆ TYP. FINISH FLOOR SURFACE
EL. +95'-0"
- ◆ TYP. FINISH FLOOR SURFACE
EL. +96'-0"
- ◆ TYP. FINISH FLOOR SURFACE
EL. +97'-0"
- ◆ TYP. FINISH FLOOR SURFACE
EL. +98'-0"
- ◆ TYP. FINISH FLOOR SURFACE
EL. +99'-0"
- ◆ TYP. FINISH FLOOR SURFACE
EL. +100'-0"



3 | PRIVATE PENTHOUSE SECTION
SCALE: 1/4" = 1'-0"



2 | PRIVATE PENTHOUSE SECTION
SCALE: 1/4" = 1'-0"

1 | BUILDING SECTION
SCALE: 1/4" = 1'-0"

PROJECT AND BUILDING SECTION	
1606 WEST BALMORAL AVE. 5404 NORTH ASHLAND AVE. CHICAGO, IL	
NO.	DATE
1	2008-04
2	2008-04
3	2008-04
4	2008-04
5	2008-04
6	2008-04
7	2008-04
8	2008-04
9	2008-04
10	2008-04
11	2008-04
12	2008-04
13	2008-04
14	2008-04
15	2008-04
16	2008-04
17	2008-04
18	2008-04
19	2008-04
20	2008-04
21	2008-04
22	2008-04
23	2008-04
24	2008-04
25	2008-04
26	2008-04
27	2008-04
28	2008-04
29	2008-04
30	2008-04
31	2008-04
32	2008-04
33	2008-04
34	2008-04
35	2008-04
36	2008-04
37	2008-04
38	2008-04
39	2008-04
40	2008-04
41	2008-04
42	2008-04
43	2008-04
44	2008-04
45	2008-04
46	2008-04
47	2008-04
48	2008-04
49	2008-04
50	2008-04
51	2008-04
52	2008-04
53	2008-04
54	2008-04
55	2008-04
56	2008-04
57	2008-04
58	2008-04
59	2008-04
60	2008-04
61	2008-04
62	2008-04
63	2008-04
64	2008-04
65	2008-04
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77	2008-04
78	2008-04
79	2008-04
80	2008-04
81	2008-04
82	2008-04
83	2008-04
84	2008-04
85	2008-04
86	2008-04
87	2008-04
88	2008-04
89	2008-04
90	2008-04
91	2008-04
92	2008-04
93	2008-04
94	2008-04
95	2008-04
96	2008-04
97	2008-04
98	2008-04
99	2008-04
100	2008-04



COMPASS ARCHITECTURAL LLC
1606 WEST BALMORAL AVE.
CHICAGO, IL 60614
TEL: 312.467.1000
WWW.COMPASSARCHITECTURAL.COM



WALL SECTION

1666 WEST BALMORAL AVE.
5404 NORTH ASHLAND AVE
CHICAGO, IL

NO.	DATE	DESCRIPTION
1	2-20-24	ISSUED FOR PERMITS



COMPASS ARCHITECTURE, LLC
 1100 NORTH LA SALLE STREET, SUITE 200
 CHICAGO, ILLINOIS 60610
 TEL: 312.467.1000
 WWW.COMPASSARCHITECTURE.COM

